



Julie Leonard, Vice-Chair, Place 1  
Jacob Hammersmith, Place 2  
Philip Tryon, Chairperson, Place 3  
Isaac Rowe, Place 4  
Lian Stutsman, Place 5  
Cecil Meyer, Place 6  
LaKesha Small, Place 7

**PLANNING AND ZONING COMMISSION  
REGULAR MEETING  
AGENDA**

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Wednesday, May 13, 2020

6:30 p.m.

Manor City Hall – Council Chambers  
105 E. Eggleston Street

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**NOTICE IS HEREBY GIVEN** in accordance with an order of the Office of the Governor issued March 16, 2020, the Planning and Zoning Commission will conduct this meeting by video conference in order to advance the public health goal of limiting face-to-face meetings to slow the spread of the COVID-19. There will be no public access to the location described above.

**This meeting will be live streamed on Facebook live.**

You can access the meeting at <https://www.facebook.com/cityofmanor/>

**Instructions for Public Speaking:**

- Members of the public that wish to speak during public comments, public hearing or an agenda item will need to register in advance by visiting [www.cityofmanor.org](http://www.cityofmanor.org) where a registration link will be posted on the calendar entry for each public meeting. You will register by filling in the speaker card available for that specific meeting and submitting it to [publiccomments@cityofmanor.org](mailto:publiccomments@cityofmanor.org). Once registered, instructions will be emailed to you on how to join the videoconference by calling in. Your Speaker Card must be received two (2) hours prior to scheduled meeting.

**Upon receiving instructions to join Zoom meeting the following rules will apply:**

- Speakers addressing non-agenda related items under public comments must address their comments to the Chairperson rather than to individual Commission Members or city staff. Speakers should speak clearly into their device and state their name and address prior to beginning their remarks. Speakers will be allowed 3 minutes for testimony. Speakers making personal, impertinent, profane or slanderous remarks may be removed from the meeting.

**CALL TO ORDER AND ANNOUNCE A QUORUM IS PRESENT**

## PUBLIC COMMENTS

Comments will be taken from the audience participating in the Zoom meeting on non-agenda related topics for a length of time, not to exceed three (3) minutes per person. Comments on specific agenda items must be made when the item comes before the Commission. To address the Planning and Zoning Commission, please register and submit the speaker card following the instructions for public speaking above. **No Action May be Taken by the Planning and Zoning Commission During Public Comments.**

## CONSENT AGENDA

All of the following items on the Consent Agenda are considered to be self-explanatory by the Planning and Zoning Commission and will be enacted with one motion. There will be no separate discussion of these items unless requested by the Chairperson or a Commission Member; in which event, the item will be removed from the consent agenda and considered separately.

1. Consideration, discussion, and possible action to approve the Planning and Zoning Commission Minutes of the March 11, 2020 Regular Meeting.
2. Consideration, discussion, and possible action to approve the Planning and Zoning Commission Minutes of the April 08, 2020 Regular Meeting.

## PUBLIC HEARINGS

3. Conduct a public hearing upon a Concept Plan for the Las Entradas Subdivision, one (1) lot on 9.973 acres more or less, located near US Hwy 290 E and Gregg Manor Road, Manor, TX.
4. Conduct a public hearing upon a Short Form Final Plat for Ramirez Addition Subdivision, four (4) lots on 5.00 acres more or less, and being located at 13800 Rector Loop, Manor, TX.
5. Conduct a public hearing upon a Preliminary Plat for St. Joseph Subdivision, one (1) lots on 24.77 acres more or less, and being located near Gregg Manor Road and Hill Lane, Manor, TX.
6. Conduct a public hearing upon a Preliminary Plat for Lagos Subdivision Phases 2 – 4, three hundred fifty-three (353) lots on 96.06 acres more or less, and being located near N FM 973 and Brenham Road, Manor, TX.
7. Conduct a public hearing upon a Preliminary Plat for Lagos Subdivision Phase 5, forty-four (44) lots on 28.62 acres more or less, and being located near N FM 973 and Murchison Street, Manor, TX.
8. Conduct a public hearing upon a Rezoning Application for Lots 4 and 5, Block 43, Town of Manor, locally known as 101 West Boyce Street from Single Family (SF-1) to Neighborhood Business (NB).



## REGULAR AGENDA

9. Consideration, discussion, and possible action on a Rezoning Application for Lots 4 and 5, Block 43, Town of Manor, locally known as 101 West Boyce Street from Single Family (SF-1) to Neighborhood Business (NB). **Applicant:** Michael Benitez **Owner:** AZ General Contractors, LLC
10. Consideration, discussion, and possible action on a Coordinated Sign Plan for 13903 US Hwy 290 East. **Applicant:** U.S. Signs. **Owner:** Texas State Rentals.
11. Consideration, discussion, and possible action on a Coordinated Sign Plan for Manor Commons East. **Applicant:** Facility Solutions Group **Owner:** Greenview Development 973, LP.
12. Consideration, discussion, and possible action on a Setback Waiver for Lot 9, Block 7, Town of Manor, locally known as 207 West Brenham Street to reduce the side setbacks to 5 feet, the rear setback to 10 feet, and the front setback to 20 feet. **Applicant:** Ruben Coronado **Owner:** Ruben Coronado
13. Consideration, discussion, and possible action on a Joined Lot Affidavit for Lot 1 and Lot 2, Block 25, Town of Manor, locally known as 104 South Bastrop Street, Manor, TX. **Applicant:** Village Homes, LTD. **Owner:** Patrick Sneed
14. Consideration, discussion, and possible action on a Concept Plan for the Las Entradas Subdivision, one (1) lot on 9.973 acres more or less, located near US Hwy 290 E and Gregg Manor Road, Manor, TX. **Applicant:** Carlson, Brigrance, & Doering, Inc. **Owner:** Manor Apartments, LLC
15. Consideration, discussion, and possible action on a Short Form Final Plat for Ramirez Addition Subdivision, four (4) lots on 5.00 acres more or less, and being located at 13800 Rector Loop, Manor, TX. **Applicant:** Moncada Enterprises, LLC **Owner:** Reyes Ramirez
16. Consideration, discussion, and possible action on a Short Form Final Plat for Victor Garcia Subdivision, three (3) lots on 4.55 acres more or less, and being located at 15506 Schmidt Loop, Manor, TX. **Applicant:** M&S Engineering **Owner:** Victor Garcia
17. Consideration, discussion, and possible action on a Preliminary Plat for St. Joseph Subdivision, one (1) lots on 24.77 acres more or less, and being located near Gregg Manor Road and Hill Lane, Manor, TX. **Applicant:** Migl Engineering and Consulting **Owner:** Catholic Diocese of Austin
18. Consideration, discussion, and possible action on a Preliminary Plat for Lagos Subdivision Phases 2 – 4, three hundred fifty-three (353) lots on 96.06 acres more or less, and being located near N FM 973 and Brenham Road, Manor, TX. **Applicant:** Kimley-Horn & Associates. **Owner:** 706 Investment Partnership, LTD
19. Consideration, discussion, and possible action on a Preliminary Plat for Lagos Subdivision Phase 5, forty-four (44) lots on 28.62 acres more or less, and being located near N FM 973 and Murchison Street, Manor, TX. **Applicant:** Kimley-Horn & Associates. **Owner:** 706 Investment Partnership, LTD
20. Consideration, discussion, and possible action on a Final Plat for Manor Commons SE Commercial, Lot 4, Block A, one (1) lot on 1.147 acres, more or less, and being located near US Hwy 290 East and N. FM 973, Manor, TX. **Applicant:** ALM Engineering, Inc. **Owner:** Greenview Development 973, LP.
21. Consideration, discussion, and possible action on a Final Plat for Manor Heights Phase 1, Section 2, eight-two (82) lots on 16.85 acres, more or less, and being located near US Hwy 290 E and Old Kimbro

Road, Manor, TX. **Applicant:** Kimley-Horn & Associates **Owner:** Forestar (USA) Real Estate Group, Inc.

22. Consideration, discussion, and possible action on a Final Plat for Manor Heights Phase 2, Section 1, one hundred seventy (170) lots on 78.33 acres, more or less, and being located near US Hwy 290 E and Old Kimbro Road, Manor, TX. **Applicant:** Kimley-Horn & Associates **Owner:** Forestar (USA) Real Estate Group, Inc.
23. Consideration, discussion, and possible action on a Final Plat for Manor Heights Phase 2, Section 2, one hundred eight (108) lots on 27.30 acres, more or less, and being located near US Hwy 290 E and Old Kimbro Road, Manor, TX. **Applicant:** Kimley-Horn & Associates **Owner:** Forestar (USA) Real Estate Group, Inc.
24. Consideration, discussion, and possible action on a Final Plat for Presidential Heights Phase 5, one hundred twenty two (122) lots on 34.35 acres, more or less, and being located near Samuel Welch Way and George Mason Avenue, Manor, TX. **Applicant:** Kimley-Horn & Associates **Owner:** West Elgin Development Corp.
25. Consideration, discussion, and possible action on a Final Plat for Shadowglen Section 22, seventy (70) lots on 13.72 acres, more or less, and being located near Misty Grove Boulevard and Silent Falls Way, Manor, TX. **Applicant:** Kimley-Horn & Associates **Owner:** SG Land Holdings, LLC
26. Consideration, discussion, and possible action on a Final Plat for Shadowglen Section 23A. eighty four (84) lots on 21.76 acres, more or less, and being located near Misty Grove Boulevard and Silent Falls Way, Manor, TX. **Applicant:** Kimley-Horn & Associates **Owner:** SG Land Holdings, LLC

## ADJOURNMENT

In addition to any executive session already listed above, the Planning and Zoning Commission reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by Texas Government Code Section §551.071 (Consultation with Attorney), §551.072 (Deliberations regarding Real Property), §551.073 (Deliberations regarding Gifts and Donations), §551.074 (Personnel Matters), §551.076 (Deliberations regarding Security Devices) and §551.087 (Deliberations regarding Economic Development Negotiations).

## POSTING CERTIFICATION

I, the undersigned authority do hereby certify that this Notice of Meeting was posted on the bulletin board, at the City Hall of the City of Manor, Texas, a place convenient and readily accessible to the general public at all times and said Notice was posted on the following date and time: Friday, May 8, 2020, by 5:00 p.m. and remained so posted continuously for at least 72 hours preceding the scheduled time of said meeting.

/s/ Lluvia T. Almaraz, TRMC  
City Secretary for the City of Manor, Texas

## NOTICE OF ASSISTANCE AT PUBLIC MEETINGS:

*The City of Manor is committed to compliance with the Americans with Disabilities Act. Manor City Hall and the Council Chambers are wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary at 512.272.5555 or e-mail [lalmaraz@cityofmanor.org](mailto:lalmaraz@cityofmanor.org)*



AGENDA ITEM NO. 1

### AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 13, 2020

PREPARED BY: Scott Dunlop, Assistant Development Director

DEPARTMENT: Development Services

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#### AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action to approve the Planning and Zoning Commission Minutes of the March 11, 2020 Regular Meeting.

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#### BACKGROUND/SUMMARY:

PRESENTATION: ☐ YES ☐ NO

ATTACHMENTS: ☐ YES (IF YES, LIST IN ORDER TO BE PRESENTED) ☐ NO

Draft Minutes

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#### STAFF RECOMMENDATION:

It is City staff's recommendation that the Planning and Zoning Commission approve the Minutes of the March 11, 2020 Regular Meeting.

PLANNING & ZONING COMMISSION: ☐ RECOMMENDED APPROVAL ☐ DISAPPROVAL ☐ NONE



Julie Leonard, Vice-Chair, Place 1  
Jacob Hammersmith, Place 2  
Philip Tryon, Chairperson, Place 3  
Isaac Rowe, Place 4  
Lian Stutsman, Place 5  
Cecil Meyer, Place 6  
LaKesha Small, Place 7

## **PLANNING AND ZONING COMMISSION REGULAR SESSION MINUTES**

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**Wednesday, March 11, 2020**

**6:30 p.m.**

**Manor City Hall – Council Chambers  
105 E. Eggleston Street**

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### **COMMISSIONERS**

#### **PRESENT:**

Place 1: Julie Leonard, Vice-Chair  
Place 2: Jacob Hammersmith  
Place 3: Philip Tryon, Chairperson  
Place 5: Lian Stutsman,  
Place 6: Cecil Meyer  
Place 7: Lakesha Small

#### **ABSENT:**

Place 4: Isaac Rowe

#### **CITY STAFF PRESENT:**

Scott Dunlop, Assistant Development Services Director

#### **REGULAR SESSION – 6:30 P.M.**

With a quorum of the Planning and Zoning (P&Z) Commission present, the regular session of the Manor P&Z Commission was called to order by Chairperson Tryon at 6:30 p.m. on Wednesday, March 11, 2020, in the Council Chambers of the Manor City Hall, 105 E. Eggleston Street, Manor, Texas.

#### **PUBLIC COMMENTS**

No one appeared to speak at this time.

## **CONSENT AGENDA**

- 1. Consideration, discussion, and possible action to approve the Planning and Zoning Commission Minutes of the February 12, 2020 Regular Meeting.**

**MOTION:** Upon a motion made by Commissioner Hammersmith and seconded by Commissioner Stutsman the P&Z Commission voted six (6) For and none (0) Against to approve the Consent Agenda. The motion carried unanimously.

## **REGULAR AGENDA**

- 2. Consideration, discussion, and possible action on a Concept Plan for the Catholic Diocese of Austin Saint Joseph Parish, one (1) lot on 24.76 acres, more or less, located near Hill Lane and Gregg Manor Road, Manor, TX. Applicant: Migl Engineering and Consulting Owner: Catholic Diocese of Austin**

The City staff recommended that the P&Z Commission approve the item.

**MOTION:** Upon a motion made by Commissioner Stutsman and seconded by Commissioner Hammersmith the P&Z Commission voted six (6) For and none (0) Against to approve a Concept Plan for the Catholic Diocese of Austin Saint Joseph Parish, one (1) lot on 24.76 acres, more or less, located near Hill Lane and Gregg Manor Road, Manor, TX. The motion carried unanimously.

- 3. Consideration, discussion, and possible action on a Final Plat for Stonewater North Phase 2, one-hundred sixty six (166) lots on 31.27 acres, more or less, and being located near Johnson Road and Inselberg Drive, Manor, TX. Applicant: Kitchen Table Civil Solutions Owner: Continental Homes of Texas, LP.**

The City staff recommended that the P&Z Commission approve the item.

**MOTION:** Upon a motion made by Vice-Chair Leonard and seconded by Commissioner Small the P&Z Commission voted six (6) For and none (0) Against to approve a Final Plat for Stonewater North Phase 2, one-hundred sixty six (166) lots on 31.27 acres, more or less, and being located near Johnson Road and Inselberg Drive, Manor, TX. The motion carried unanimously.

## **ADJOURNMENT**

**MOTION:** Upon a motion made by Commissioner Hammersmith and seconded by Commissioner Meyer the P&Z Commission voted six (6) For and none (0) Against to adjourn the regular session of the Manor P&Z Commission at 6:35 p.m. on Wednesday, March 11, 2020. The motion carried unanimously.

These minutes approved by the Manor P&Z Commission on the 13<sup>th</sup> day of May 2020.

**APPROVED:**

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Philip Tryon  
Chairperson

**ATTEST:**

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Lluvia T. Almaraz, TRMC  
City Secretary

Draft Minutes



AGENDA ITEM NO. <sup>2</sup>\_\_\_\_\_

### AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 13, 2020

PREPARED BY: Scott Dunlop, Assistant Development Director

DEPARTMENT: Development Services

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**AGENDA ITEM DESCRIPTION:**

Consideration, discussion, and possible action to approve the Planning and Zoning Commission Minutes of the April 08, 2020 Regular Meeting.

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**BACKGROUND/SUMMARY:**

PRESENTATION: ☐ YES ☐ NO

ATTACHMENTS: ☒ YES (IF YES, LIST IN ORDER TO BE PRESENTED) ☐ NO

Draft Minutes

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**STAFF RECOMMENDATION:**

It is City staff's recommendation that the Planning and Zoning Commission approve the Planning and Zoning Commission Minutes of the April 08, 2020 Regular Meeting.

PLANNING & ZONING COMMISSION: ☐ RECOMMENDED APPROVAL ☐ DISAPPROVAL ☐ NONE





Julie Leonard, Vice-Chair, Place 1  
Jacob Hammersmith, Place 2  
Philip Tryon, Chairperson, Place 3  
Isaac Rowe, Place 4  
Lian Stutsman, Place 5  
Cecil Meyer, Place 6  
LaKesha Small, Place 7

## **PLANNING AND ZONING COMMISSION REGULAR SESSION MINUTES**

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Wednesday, April 08, 2020

6:30 p.m.

Manor City Hall – Council Chambers  
105 E. Eggleston Street

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### **COMMISSIONERS**

#### **PRESENT:**

Place 2: Jacob Hammersmith  
Place 4: Isaac Rowe  
Place 6: Cecil Meyer

#### **ABSENT:**

Place 1: Julie Leonard, Vice-Chair  
Place 3: Philip Tryon, Chairperson  
Place 5: Lian Stutsman  
Place 7: Lakesha Small

#### **CITY STAFF PRESENT:**

Scott Dunlop, Assistant Development Services Director

#### **REGULAR SESSION – 6:30 P.M.**

With no quorum of the Planning and Zoning (P&Z) Commission present, the regular session of the Manor P&Z Commission was canceled by Commissioner Hammersmith at 6:45 p.m. on Wednesday, April 8, 2020, in the Council Chambers of the Manor City Hall, 105 E. Eggleston Street, Manor, Texas.

#### **PUBLIC COMMENTS**

#### **CONSENT AGENDA**

1. Consideration, discussion, and possible action to approve the Planning and Zoning Commission Minutes of the March 11, 2020 Regular Meeting.

## **REGULAR AGENDA**

- 2. Consideration, discussion, and possible action on a Short Form Final Plat for Manor East Subdivision, one (1) lot on 4.38 acres more or less, located at 14101 US Hwy 290 East, Manor, TX. Applicant: Moncada Enterprises, LLC Owner: Auspro Enterprises.**
- 3. Consideration, discussion, and possible action on a Final Plat for Manor Commons SE Commercial, Lot 4, Block A, one (1) lot on 1.147 acres, more or less, and being located near US Hwy 290 East and N. FM 973, Manor, TX. Applicant: ALM Engineering, Inc. Owner: Greenview Development 973, LP.**
- 4. Consideration, discussion, and possible action on a Coordinated Sign Plan for 13903 US Hwy 290 East. Applicant: U.S. Signs. Owner: Texas State Rentals.**
- 5. Consideration, discussion, and possible action on a Coordinated Sign Plan for Manor Commons East. Applicant: Facility Solutions Group Owner: Greenview Development 973, LP.**

## **ADJOURNMENT**

These minutes approved by the Manor P&Z Commission on the 13<sup>th</sup> day of May 2020.

### **APPROVED:**

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Philip Tryon  
Chairperson

### **ATTEST:**

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Lluvia T. Almaraz, TRMC  
City Secretary



AGENDA ITEM NO. 3

## AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 13, 2020

PREPARED BY: Scott Dunlop, Assistant Development Director

DEPARTMENT: Development Services

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### AGENDA ITEM DESCRIPTION:

Conduct a public hearing upon a Concept Plan for the Las Entradas Subdivision, one (1) lot on 9.973 acres more or less, located near US Hwy 290 E and Gregg Manor Road, Manor, TX.

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### BACKGROUND/SUMMARY:

This public hearing is for a one lot subdivision to plat the property for a proposed multi-family project.

PRESENTATION: ☐ YES ☐ NO

ATTACHMENTS: ☐ YES (IF YES, LIST IN ORDER TO BE PRESENTED) ☐ NO

Plat

Notice Letter

Mailing Labels

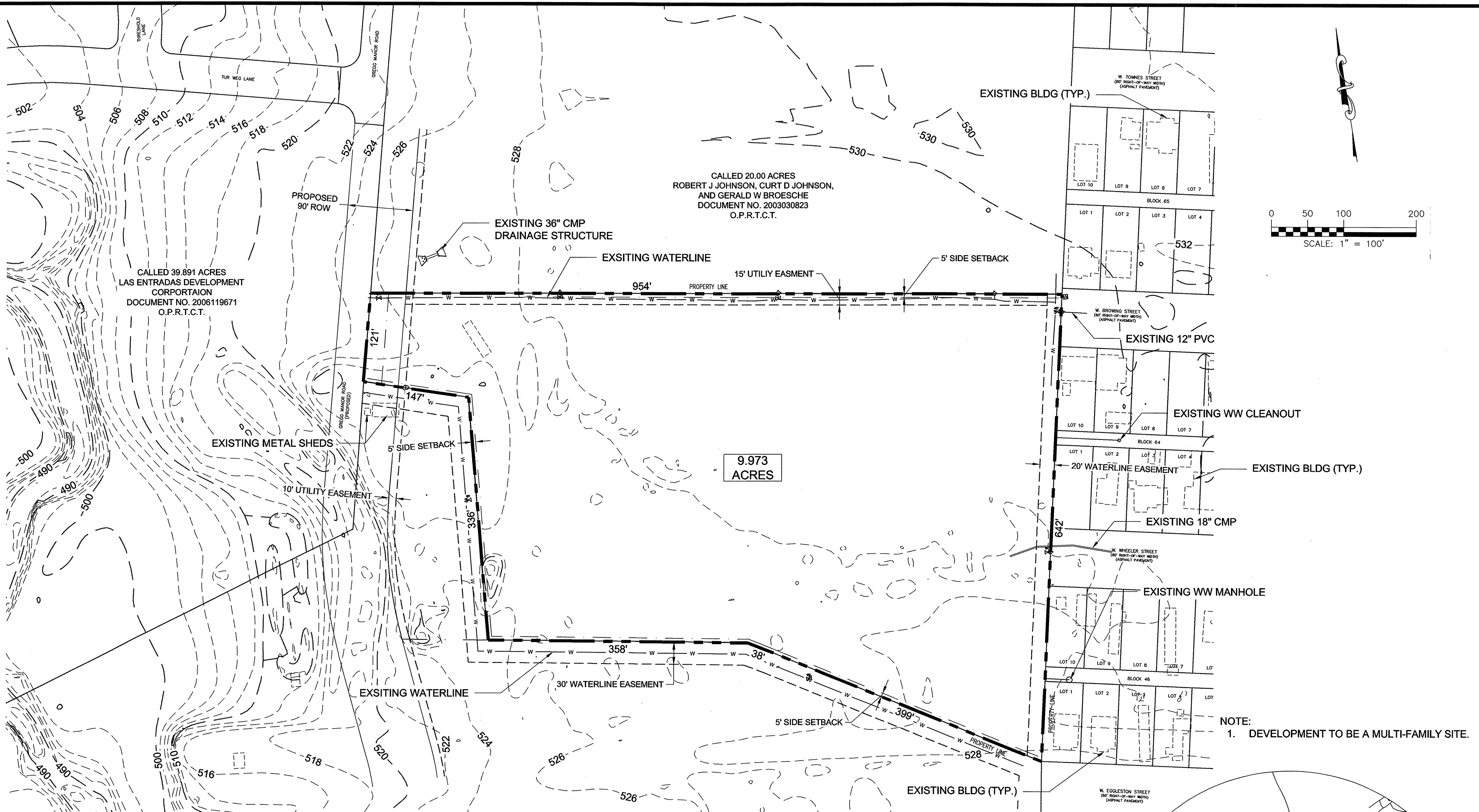
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### STAFF RECOMMENDATION:

It is City staff's recommendation that the Planning and Zoning Commission conduct a public hearing upon a Concept Plan for the Las Entradas Subdivision, one (1) lot on 9.973 acres more or less, located near US Hwy 290 E and Gregg Manor Road, Manor, TX.

PLANNING & ZONING COMMISSION: ☐ RECOMMENDED APPROVAL ☐ DISAPPROVAL ☐ NONE

FILE PATH: \\A03D\\5163\\Misc. dwg\\5163-CONCEPT PLAN.dwg - May 04, 2020 - 10:19am



DATA								
3 STORY								
# OF UNITS	UNIT TYPE	# BD/BA	UNIT SF	RENTABLE AREA	% OF AREA	% OF AREA BY TYPE	LUE PER UNIT TYPE	
34	A UNITS	1BD/1BA	710 SF	24,140 SF	13.82%	41.46%	0.5	
68	As UNITS	1BD/1BA	710 SF	48,280 SF	27.64%			
24	B UNITS	1BD/1BA	805 SF	19,320 SF	9.76%			
48	Bs UNITS	1BD/1BA	805 SF	38,640 SF	19.51%	29.27%	0.5	
60	C UNITS	2BD/2BA	1,086 SF	65,160 SF	24.39%			
12	Co UNITS	2BD/2BA	1,086 SF	13,032 SF	4.88%	29.27%	0.5	
246 UNITS	TOTAL NET RENTABLE AREA:			208,572 SF	100.00%			

AVERAGE SQUARE FOOTAGE:		848 SQ.FT.	BUILDING COVER		
			BUILDING:		99,688
LAND:		9.973 ACRES	GARAGE:		8,783
DENSITY:		24.67 UNITS/ACRE	ESL SIDEWALK/POOL DECK:		25,000
LAND-ROW:		9.834 ACRES	DRIVES:		153,176
DENSITY:		25.02 UNITS/ACRE	TOTAL		66% 286,647

VEHICULAR TRIPS ASSOCIATED WITH APARTMENT COMPLEX								
LAND USE	UNITS	DAILY TRIPS (VPD)	AM PEAK HOUR TRIPS (VPH)			PM PEAK HOUR TRIPS (VPH)		
			ENTERING	EXITING	TOTAL	ENTERING	EXITING	TOTAL
MULTIFAMILY HOUSING (LOW-RISE)	246 DWELLING UNIT	1801	26	87	113	87	51	138

CALLLED 105.170 ACRES  
LAS ENTRADAS DEVELOPMENT  
CORPORATION  
DOCUMENT NO. 2007002485  
O.P.R.T.C.T.

#### CITY OF MANOR ACKNOWLEDGEMENTS

THIS CONCEPT PLAN HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MANOR, TEXAS, AND IS HEREBY RECOMMENDED FOR APPROVAL BY THE CITY COUNCIL ON THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ A.D.

APPROVED:

ATTEST:

CHAIRPERSON

CITY SECRETARY

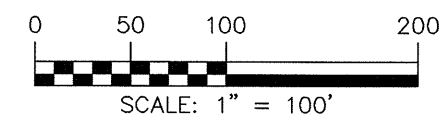
ACCEPTED AND APPROVED FOR RECORD BY THE CITY COUNCIL, CITY OF MANOR, TEXAS ON THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ A.D.

BY:

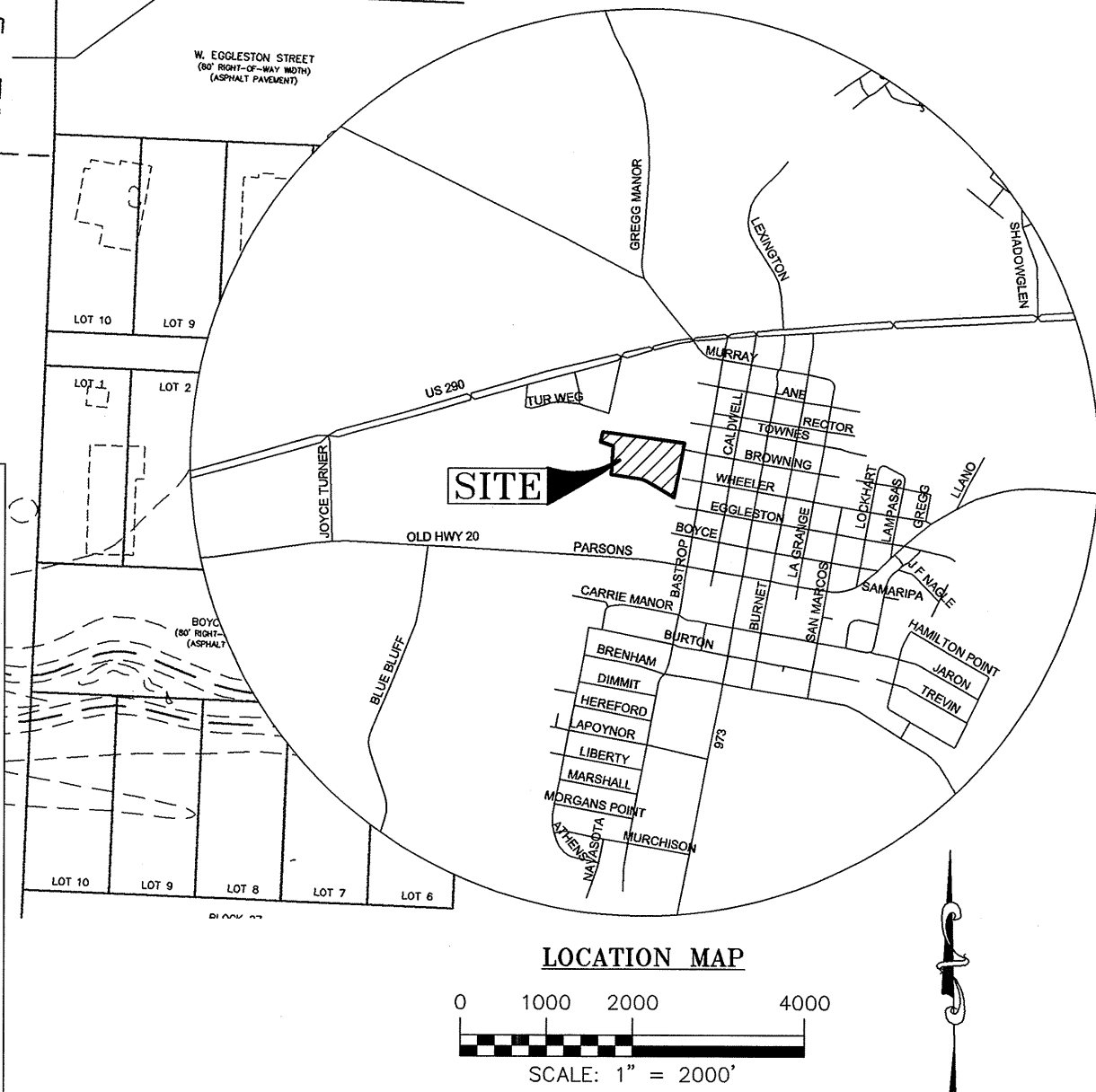
ATTEST:

MAYOR OF THE CITY OF  
MANOR, TEXAS

CITY SECRETARY



NOTE:  
1. DEVELOPMENT TO BE A MULTI-FAMILY SITE.



DESIGNED BY:  
BRK

DRAFTED BY:  
ASL

Carlson, Brigrance & Doering, Inc.

Civil Engineering ♦ Surveying

FIRM ID #F3791

North Office  
12129 RR 620 N., Ste. 600  
Austin, Texas 78750  
www.cbding.com

Main Office  
5501 West William Cannon Dr.  
Austin, Texas 78749  
Phone No. (512) 280-5160

CONCEPT PLAN

JOB NAME:  
LAS ENTRADAS

PROJECT:  
STREET, DRAINAGE, WATER, &  
WASTEWATER IMPROVEMENTS

BRIAN KELLING JR.  
130745  
LICENSED PROFESSIONAL ENGINEER

CARLSON, BRIGRANCE & DOERING, INC.  
ID# F3791  
5-4-2020

DATE  
MAY 2020

JOB NUMBER  
5163

SHEET  
1 OF 1



April 22, 2020

RE: Notification for a Concept Plan – Las Entradas Subdivision

Dear Property Owner,

The City of Manor Planning and Zoning Commission will be conducting a regularly scheduled meeting for the purpose of considering and acting upon on a concept plan. The request will be posted on the agenda as follows:

**Public Hearing: Conduct a public hearing upon a Concept Plan for the Las Entradas Subdivision, one (1) lot on 9.973 acres more or less, located near US Hwy 290 E and Gregg Manor Road, Manor, TX.**

The Planning and Zoning Commission will meet at 6:30PM on May 13, 2020 at 105 East Eggleston Street in the City Hall Council Chambers\*\*.

The City Council will meet at 7:00PM on May 20, 2020 at 105 East Eggleston Street in the City Hall Council Chambers\*\*.

You are being notified because you own property within 300 feet of the property for which this concept plan has been filed.

If you have no interest in the case there is no need for you to attend\*\*. You may address any comments to me at the email address or phone number below. Any communications I receive will be made available to the Commissioners and Council Members during the discussion of this item.

\*\* Due to the declared Public Health Emergency related to COVID-19, at the time of this notification Planning and Zoning Commission and City Council meetings are being conducted via video conference and broadcast live on the City's Facebook page ([facebook.com/cityofmanor](https://facebook.com/cityofmanor)) and the Chambers is closed to the public.

Members of the public that wish to speak during public comments, public hearing or an agenda item will need to register in advance by visiting [www.cityofmanor.org](http://www.cityofmanor.org) where a registration link will be posted on the calendar entry for each public meeting. You will register by filling in the speaker card available for that specific meeting and submitting it to [publiccomments@cityofmanor.org](mailto:publiccomments@cityofmanor.org). Once registered, instructions will be emailed to you on how to join the video conference by calling in. Your Speaker Card must be received two (2) hours prior to scheduled meeting.

You may refer to the posted agenda for the May 13<sup>th</sup> Planning and Zoning Commission and the May 20<sup>th</sup> City Council to see how the meeting will be conducted, whether via video conference or in-person. Planning and Zoning Commission agendas can be found here ([http://www.cityofmanor.org/page/cs\\_planning\\_and\\_zoning\\_agendas\\_2012-2014](http://www.cityofmanor.org/page/cs_planning_and_zoning_agendas_2012-2014)) and City Council agenda can be found here (<http://www.cityofmanor.org/page/cc.agendas.2020>). Agendas are posted 72 hours prior to the scheduled meeting.

Sincerely,

Scott Dunlop,  
Assistant Development Director  
[sdunlop@cityofmanor.org](mailto:sdunlop@cityofmanor.org)  
512-272-5555 ext. 5

Lynda & Ruben Jaime 310 Browning Street Manor,TX 78653	Guajardo Herminia P.O. Box 97 Manor,TX 78653	Samaripa Matildy Vasuez Jr 401 N. Bastrop Street Manor,TX 78653
Newsome Florence ET AL 310 Wheeler Street Manor,TX 78653	Garcia Delgado & Maribel Delgado 306 Wheeler Street Manor,TX 78653	Wheeler Street Partenership 304 Wheeler Street Manor,TX 78653
Loggins Raydell 302 Wheeler Street Manor,TX 78653	Bradley & Paula Bowen 309 Eggleston Street Manor,TX 78653	Bradley & Paula Bowen 307 Eggleston Street Manor,TX 78653
SEPECO P.O. BOX 170309 Austin,TX 78717	SEPECO 303 Eggleston Manor,TX 78653	AAA Fire & Safety Equipment Co Inc. 6700 Guadalupe Street Austin,TX 78752
Filiberto & Eduviges De La Luz 204 Red Oak Circle Austin,TX 78753	Guajardo Anselma P.O. Box 295 Manor,TX 78653	Robert & Curt P Johnson 10507 E US HWY 290 Manor,TX 78653
LAS ENTRADAS DEVELOPMENT CORP 9900 US HWY 290 E Manor,TX 78653	,	,
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AGENDA ITEM NO. 4

## AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 13, 2020

PREPARED BY: Scott Dunlop, Assistant Development Director

DEPARTMENT: Development Services

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### AGENDA ITEM DESCRIPTION:

Conduct a public hearing upon a Short Form Final Plat for Ramirez Addition Subdivision, four (4) lots on 5.00 acres more or less, and being located at 13800 Rector Loop, Manor, TX.

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### BACKGROUND/SUMMARY:

This plat had previously been approved in 2017 but was not filed and approved by Travis County so it was not recorded and subsequently expired so they've had to re-file the plat for approval. It is a 4 lot subdivision in Manor's ETJ.

PRESENTATION: ☐ YES ☐ NO

ATTACHMENTS: ☒ YES (IF YES, LIST IN ORDER TO BE PRESENTED) ☐ NO

Plat

Notice Letter

Mailing Labels

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### STAFF RECOMMENDATION:

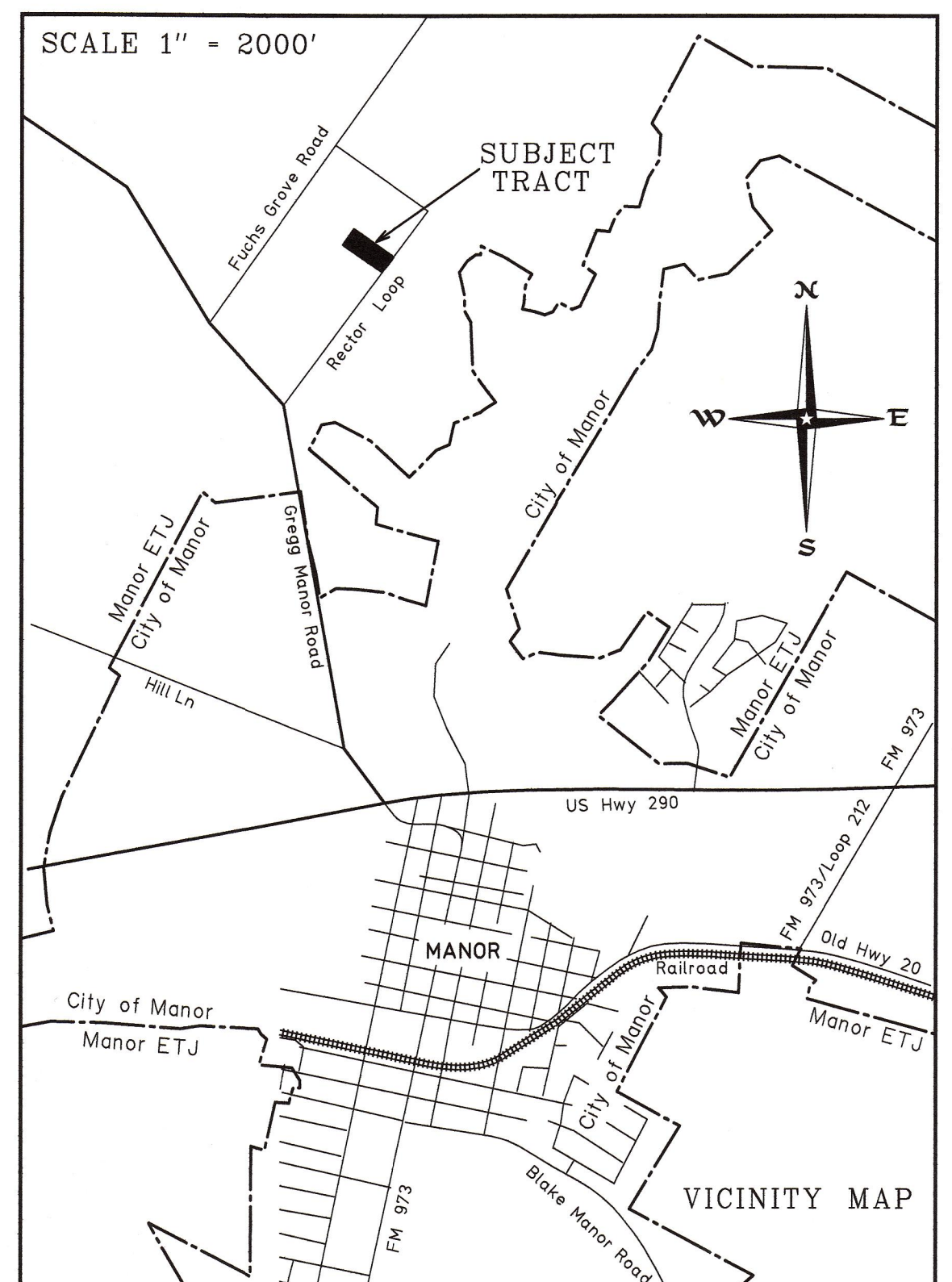
It is City staff's recommendation that the Planning and Zoning Commission conduct a public hearing upon a Short Form Final Plat for Ramirez Addition Subdivision, four (4) lots on 5.00 acres more or less, and being located at 13800 Rector Loop, Manor, TX.

PLANNING & ZONING COMMISSION: ☐ RECOMMENDED APPROVAL ☐ DISAPPROVAL ☐ NONE



# TRAVIS COUNTY CONSUMER PROTECTION NOTICE FOR HOMEBUYERS

IF YOU ARE BUYING A LOT OR HOME, YOU SHOULD DETERMINE WHETHER IT IS INSIDE OR OUTSIDE THE CITY LIMITS. DEPENDING ON STATE LAW AND OTHER FACTORS, LAND OUTSIDE THE CITY LIMITS MAY BE SUBJECT TO FEWER LOCAL GOVERNMENT CONTROLS OVER THE DEVELOPMENT AND USE OF LAND THAN INSIDE THE CITY LIMITS. BECAUSE OF THIS, LOCAL GOVERNMENT MAY NOT BE ABLE TO RESTRICT THE NATURE OR EXTENT OF DEVELOPMENT NEAR THE LOT OR HOME NOR PROHIBIT NEARBY LAND USES THAT ARE INCOMPATIBLE WITH A RESIDENTIAL NEIGHBORHOOD. THIS CAN AFFECT THE VALUE OF YOUR PROPERTY. TRAVIS COUNTY REQUIRES THIS NOTICE TO BE PLACED ON SUBDIVISION PLATS. IT IS NOT A STATEMENT OR REPRESENTATION OF THE OWNER OF THE PROPERTY, THE SUBDIVIDER, OR THEIR REPRESENTATIVES.

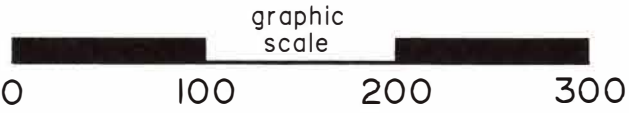




RAMIREZ ADDITION

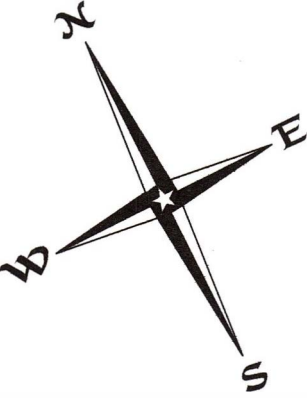
PREPARED: APRIL 24, 2019

SCALE: 1" = 100'



Legend

- 1/2" Iron Rod Found
- IPF ● 1/2" Iron Pipe Found
- 1/2" Iron Rod Set with plastic cap imprinted with "Holt Carson, Inc."
- Concrete Monument Set
- Proposed Sidewalk (Record Bearing and Distance)



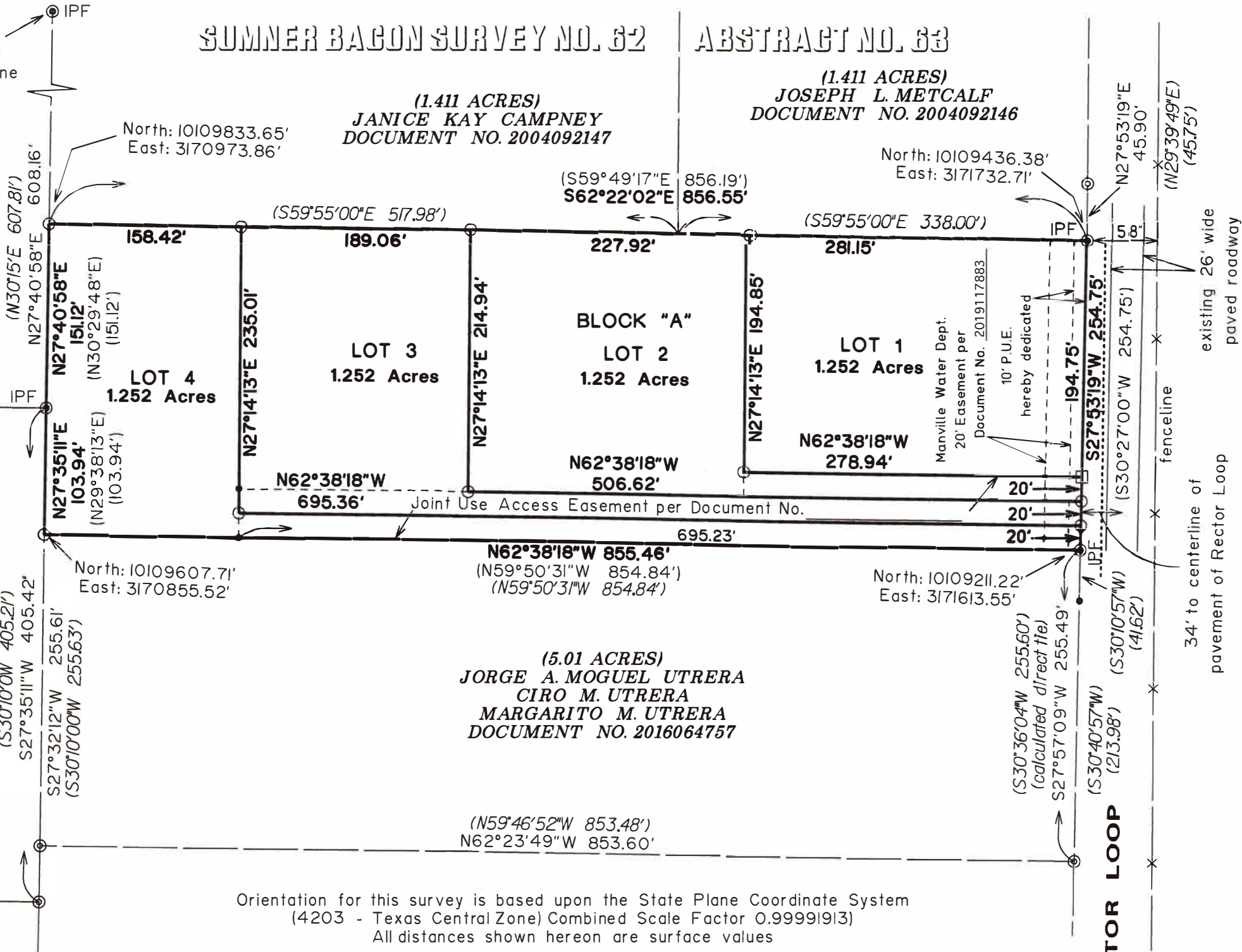
(4.139 ACRES)  
RICARDO JUAREZ  
DOCUMENT NO. 2013170203

(4 ACRES)  
JESUS ROSALES  
AND  
LILIA ROSALES  
DOCUMENT NO. 2007203137

SUMNER BACON SURVEY NO. 62 ABSTRACT NO. 63

(1.411 ACRES)  
JANICE KAY CAMPNEY  
DOCUMENT NO. 2004092147

(1.411 ACRES)  
JOSEPH L. METCALF  
DOCUMENT NO. 2004092146



THE STATE OF TEXAS  
THE COUNTY OF TRAVIS  
KNOW ALL MEN BY THESE PRESENTS:

That we, Francisco Reyes Ramirez, Pablo Reyes Ramirez, Serafin Reyes Ramirez and Marcelino Jaimes Albiter, owners of 5.008 acres of land out of the Sumner Bacon Survey No. 62, Abstract No. 63, in Travis County, Texas, as conveyed to us by virtue of deeds recorded in Document Nos. 2012183105 and 2017141016 of the Official Public Records of Travis County, Texas, do subdivide said property pursuant to Texas Local Government Code Chapters 212 and 232 in accordance with the attached map or plat to be known as

RAMIREZ ADDITION

and do hereby dedicate to the public the use of all streets and easements shown hereon subject to any easements and/or restrictions heretofore granted, and not released.

WITNESS MY HAND this the \_\_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_.

THE STATE OF TEXAS  
THE COUNTY OF TRAVIS  
Francisco Reyes Ramirez  
1109 Liberty Farms Drive  
Austin, Texas 78754

I, the undersigned authority, on this the \_\_\_\_\_ day of \_\_\_\_\_, A.D., 20\_\_\_\_, did personally appear Francisco Reyes Ramirez, known to me to be the person whose name is subscribed to the foregoing instrument of writing, and he acknowledged before me that he executed the same for the purposes and considerations therein expressed.

NOTARY PUBLIC \_\_\_\_\_  
Printed Name \_\_\_\_\_  
Commission Expires \_\_\_\_\_

WITNESS MY HAND this the \_\_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_.

THE STATE OF TEXAS  
THE COUNTY OF TRAVIS  
Pablo Reyes Ramirez  
1109 Liberty Farms Drive  
Austin, Texas 78754

I, the undersigned authority, on this the \_\_\_\_\_ day of \_\_\_\_\_, A.D., 20\_\_\_\_, did personally appear Pablo Reyes Ramirez, known to me to be the person whose name is subscribed to the foregoing instrument of writing, and he acknowledged before me that he executed the same for the purposes and considerations therein expressed.

NOTARY PUBLIC \_\_\_\_\_  
Printed Name \_\_\_\_\_  
Commission Expires \_\_\_\_\_

WITNESS MY HAND this the \_\_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_.

THE STATE OF TEXAS  
THE COUNTY OF TRAVIS  
Serafin Reyes Ramirez  
1109 Liberty Farms Drive  
Austin, Texas 78754

I, the undersigned authority, on this the \_\_\_\_\_ day of \_\_\_\_\_, A.D., 20\_\_\_\_, did personally appear Serafin Reyes Ramirez, known to me to be the person whose name is subscribed to the foregoing instrument of writing, and he acknowledged before me that he executed the same for the purposes and considerations therein expressed.

NOTARY PUBLIC \_\_\_\_\_  
Printed Name \_\_\_\_\_  
Commission Expires \_\_\_\_\_

WITNESS MY HAND this the \_\_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_.

THE STATE OF TEXAS  
THE COUNTY OF TRAVIS  
Marcelino Jaimes Albiter  
1109 Liberty Farms Drive  
Austin, Texas 78754

I, the undersigned authority, on this the \_\_\_\_\_ day of \_\_\_\_\_, A.D., 20\_\_\_\_, did personally appear Marcelino Jaimes Albiter, known to me to be the person whose name is subscribed to the foregoing instrument of writing, and he acknowledged before me that he executed the same for the purposes and considerations therein expressed.

NOTARY PUBLIC \_\_\_\_\_  
Printed Name \_\_\_\_\_  
Commission Expires \_\_\_\_\_

Orientation for this survey is based upon the State Plane Coordinate System  
(4203 - Texas Central Zone) Combined Scale Factor 0.99991913  
All distances shown hereon are surface values

LOT SUMMARY

Total Number of Lots = 4  
Lot 1 = 1.252 Acres  
Lot 2 = 1.252 Acres  
Lot 3 = 1.252 Acres  
Lot 4 = 1.252 Acres  
Total Area = 5.008 Acres

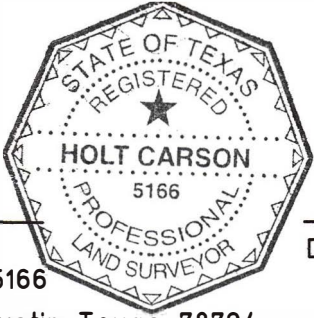
PROPOSED LOT USES

Lot 1 = Residential  
Lot 2 = Residential  
Lot 3 = Residential  
Lot 4 = Residential

THE STATE OF TEXAS  
THE COUNTY OF TRAVIS

I, Holt Carson, am authorized under the laws of the State of Texas to practice the profession of surveying and hereby certify that this plat complies with the land surveying portions of Travis County Chapter 482 Development Regulations and is true and correct and was prepared from an actual survey of the property made by me or under my supervision on the ground.

Holt Carson  
Registered Professional Land Surveyor No. 5166  
HOLT CARSON, INC. 1904 Fortview Road Austin, Texas 78704  
(512)-442-0990



THE STATE OF TEXAS \*  
THE COUNTY OF TRAVIS \*

I, Kerri Pena, am authorized under the laws of the State of Texas to practice the profession of engineering and hereby certify that this plat is feasible from an engineering standpoint and complies with the engineering portions of the City of Manor, Texas Subdivision Ordinance and Chapter 482 of the Travis County Code and is true and correct to the best of my knowledge.

No portion of this tract is within the designated flood hazard area as shown on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Panel No. 48453C0485J, Travis County, Texas, dated: August 18, 2014. Community No. 481026

Kerri Pena P.E. No. 90255 GREEN  
CIVIL DESIGN, LLC  
11130 Jollyville Road, Suite 101  
Austin, Texas 78759  
(512) 773-2766



ACCEPTED AND AUTHORIZED FOR RECORD BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MANOR, TEXAS, ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_.

APPROVED: WILLIAM MYERS, CHAIRPERSON  
ATTEST: LLUVIA TIJERINA, CITY SECRETARY

ACCEPTED AND AUTHORIZED FOR RECORD BY THE CITY COUNCIL OF THE CITY OF MANOR, TEXAS, ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_.

APPROVED: RITA JONSE, MAYOR  
ATTEST: LLUVIA TIJERINA, CITY SECRETARY



RAMIREZ ADDITION

PREPARED: APRIL 24, 2019

NOTES:

1. THIS SUBDIVISION IS LOCATED WITHIN THE EXTRA-TERRITORIAL JURISDICTION OF THE CITY OF MANOR AS OF THIS DATE: \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_.
2. A TEN (10) FEET WIDE EASEMENT FOR PUBLIC UTILITIES IS HEREBY ASSIGNED ALONG ALL RIGHTS-OF-WAY DEDICATED BY THIS PLAT.
3. WATER SERVICE TO THESE LOTS IS PROVIDED BY MANVILLE WATER SUPPLY CORP  
ELECTRIC SERVICE TO THESE LOTS IS PROVIDED BY BLUEBONNET ELECTRIC COOPERATIVE  
THIS SUBDIVISION WILL BE SERVICED BY ONSITE SEWAGE FACILITY
4. LOT 2, LOT 3, AND LOT 4 OF THIS SUBDIVISION WILL ACCESS RECTOR LOOP FROM THE JOINT USE ACCESS EASEMENT SHOWN HEREON.
5. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL THE STRUCTURE IS CONNECTED TO AN APPROVED WATER SUPPLY AND AN APPROVED ON-SITE SEWAGE SYSTEM.
6. PUBLIC SIDEWALKS BUILT TO TRAVIS COUNTY STANDARDS ARE REQUIRED ALONG THE FOLLOWING STREETS AS SHOWN BY A DOTTED LINE ON THE FACE OF THE PLAT:[RECTOR LOOP]. THE SIDEWALKS ARE REQUIRED TO BE CONSTRUCTED BY THE PROPERTY OWNER AFTER THE ABUTTING ROADWAY IS IMPROVED AND CONCRETE CURBS ARE IN PLACE. FAILURE TO CONSTRUCT THE REQUIRED SIDEWALKS MAY RESULT IN THE WITHHOLDING OF CERTIFICATES OF OCCUPANCY, BUILDING PERMITS, OR UTILITY CONNECTIONS BY THE GOVERNING BODY OR UTILITY COMPANY.
7. NO CUT OR FILL ON ANY LOT MAY EXCEED EIGHT FEET, EXCLUDING DRIVEWAYS, A BUILDING STRUCTURE'S FOOTPRINT, OR A PARKING AREA FOOTPRINT, IN ACCORDANCE WITH THE TRAVIS COUNTY CODE.
8. AS DEPICTED ON THE PLAT, EACH PROTECTIVE EASEMENT FROM A CRITICAL ENVIRONMENTAL FEATURE, INCLUDING A CAVE, SINKHOLE, POINT RECHARGE FEATURE, BLUFF, CANYON RIMROCK FEATURE, WETLAND, AND SPRING MUST REMAIN IN ITS EXISTING, UNDEVELOPED, NATURAL STATE. NATURAL VEGETATIVE COVER MUST BE RETAINED. CONSTRUCTION ACTIVITIES, WASTEWATER DISPOSAL, AND WASTEWATER IRRIGATION ARE PROHIBITED WITHIN A PROTECTIVE EASEMENT. A RESIDENTIAL LAWN OR TRAIL IS ALLOWED IF IT IS LOCATED AT LEAST 50 FEET FROM THE EDGE OF A CRITICAL ENVIRONMENTAL FEATURE IN ACCORDANCE WITH THE TRAVIS COUNTY CODE.
9. AS DEPICTED ON THE PLAT, THE SETBACK AREA IDENTIFIED FOR EACH WATERWAY IS A PROTECTIVE EASEMENT THAT MUST REMAIN UNDEVELOPED AND ACTIVITIES MUST BE LIMITED WITHIN THE EASEMENT. THE PROTECTIVE EASEMENT MUST REMAIN FREE OF CONSTRUCTION, DEVELOPMENT, AND OTHER ALTERATIONS EXCEPT WHEN SPECIFICALLY APPROVED IN A TRAVIS COUNTY DEVELOPMENT PERMIT.
10. BEFORE BEGINNING CONSTRUCTION ACTIVITIES ON A SUBDIVISION LOT, THE OWNER MUST OBTAIN A TRAVIS COUNTY DEVELOPMENT PERMIT AND, WHEN APPLICABLE, OBTAIN AND IMPLEMENT A STORM WATER POLLUTION PREVENTION PLAN (SWP3). THE SWP3 REQUIRES IMPLEMENTATION OF TEMPORARY AND PERMANENT BEST MANAGEMENT PRACTICES, INCLUDING EROSION AND SEDIMENT CONTROLS, FOR PROTECTION OF STORM WATER RUNOFF QUALITY, IN ACCORDANCE WITH THE TRAVIS COUNTY CODE.
11. THE OWNER IS RESPONSIBLE FOR MAINTAINING AND OPERATING ALL PERMANENT WATER QUALITY CONTROLS IN COMPLIANCE WITH ALL APPLICABLE STANDARDS AND REQUIREMENTS OF THE TRAVIS COUNTY CODE. SEE DOCUMENT \_\_\_\_\_.
12. AN ACTIVITY THAT MAY ADVERSELY AFFECT A TREE OF EIGHT INCHES OR MORE IN TRUNK DIAMETER (MEASURED AT FOUR FEET HEIGHT ABOVE THE GROUND) IN A RIGHT-OF-WAY ACCEPTED FOR MAINTENANCE BY TRAVIS COUNTY MUST COMPLY WITH ALL STANDARDS AND REQUIREMENTS IN THE TRAVIS COUNTY CODE.
13. PARKLAND DEDICATION FEES HAVE BEEN PAID FOR FOUR (4) DWELLING UNITS.
14. ELECTRIC EASEMENTS GRANTED TO BLUEBONNET ELECTRIC COOPERATIVE BY INSTRUMENTS RECORDED IN DOCUMENT NOS. 2016050527, 2016050529 AND 2016143391 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS. DESCRIBED AS BEING "15 FEET ON EACH SIDE OF THE CENTERLINE OF THE INITIAL LINE(S) AS CONSTRUCTED BY THE GRANTEE" FOR OVERHEAD ELECTRIC FACILITIES AND DESCRIBED AS BEING "10 FEET EITHER SIDE OF THE INITIAL LINE(S) AS CONSTRUCTED BY THE GRANTEE" FOR UNDERGROUND ELECTRIC FACILITIES.
15. SITE PLANS AND SUBDIVISION PLANS SHALL MEET ALL APPLICABLE CODES, ORDINANCES, STATUTES AND GUIDELINES AS ESTABLISHED BY TRAVIS COUNTY EMERGENCY SERVICES DISTRICT NO. 12. (TCESD12).
16. TRAVIS COUNTY ESD NO. 12 (TCESD12) IS THE AUTHORITY HAVING JURSDICTION (AHJ) FOR ALL FIRE CODE REVIEWS, PERMITS, AND COMPLIANCE WITHIN TCESD12'S AREA.
17. PRIOR TO CONSTRUCTION, EXCEPT FOR SINGLE-FAMILY, ON ANY LOT IN THIS SUBDIVISION A FIRE CODE REVIEW-SITE CONSTRUCTION PERMIT SHALL BE OBTAINED FROM TCESD12.
18. THE PROPERTY OWNERS OF LOT 2, LOT 3, AND LOT 4 SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND FINANCIAL RESPONSIBILITIES ASSOCIATED WITH THE JOINT USE ACCESS EASEMENT SHOWN HEREON.
19. ALL LOTS IN THIS SUBDIVISION ARE RESTRICTED TO 7,000 SQUARE FEET OF IMPERVIOUS COVER PER LOT.

Travis County On-Site Wastewater Program Notes

1. No structure in this subdivision shall be occupied until connected to a public sewer system or a private on-site wastewater (septic) system that has been approved and licensed for operation by the Travis County On-Site Wastewater Program.
2. This subdivision is subject to all the terms and conditions of Chapter 448, Travis County Code, Rules of Travis County, Texas for On-Site Sewage Facilities. These rules require, among other things, that a construction permit be obtained from Travis County before an on-site sewage facility can be constructed, altered, modified, or repaired in the subdivision and that a license to operate be obtained from Travis County before an on-site sewage facility can be operated in the subdivision.
3. Each residential lot in this subdivision is restricted to no more than one single family dwelling per acre.
4. These restrictions are enforceable by the Travis County On-Site Wastewater Program.

Stacey Scheffel, D.R. No. OS001143  
Program Manager On-Site Wastewater Program  
Travis County TNR

Date

IN APPROVING THIS PLAT, THE COMMISSIONERS' COURT OF TRAVIS COUNTY, TEXAS, ASSUMES NO OBLIGATION TO BUILD THE STREETS, ROADS, AND OTHER PUBLIC THOROUGHFARES SHOWN ON THIS PLAT OR ANY BRIDGES OR CULVERTS IN CONNECTION THEREWITH. THE BUILDING OF ALL STREETS, ROADS, AND OTHER PUBLIC THOROUGHFARES SHOWN ON THIS PLAT, AND ALL BRIDGES AND CULVERTS NECESSARY TO BE CONSTRUCTED OR PLACED IN SUCH STREETS, ROADS, OR OTHER PUBLIC THOROUGHFARES OR IN CONNECTION THEREWITH, IS THE RESPONSIBILITY OF THE OWNER AND/OR DEVELOPER OF THE TRACT OF LAND COVERED BY THIS PLAT IN ACCORDANCE WITH PLANS AND SPECIFICATIONS PRESCRIBED BY THE COMMISSIONERS' COURT OF TRAVIS COUNTY, TEXAS.

THE OWNER(S) OF THE SUBDIVISION SHALL CONSTRUCT THE SUBDIVISION'S STREET AND DRAINAGE IMPROVEMENTS (THE IMPROVEMENTS) TO COUNTY STANDARDS IN ORDER FOR THE COUNTY TO ACCEPT THE PUBLIC IMPROVEMENTS FOR MAINTENANCE OR TO RELEASE FISCAL SECURITY POSTED TO SECURE PRIVATE IMPROVEMENTS. TO SECURE THIS OBLIGATION, THE OWNER(S) MUST POST FISCAL SECURITY WITH THE COUNTY IN THE AMOUNT OF THE ESTIMATED COST OF IMPROVEMENTS. THE OWNER(S) OBLIGATION TO CONSTRUCT THE IMPROVEMENTS TO COUNTY STANDARDS AND TO POST THE FISCAL SECURITY TO SECURE SUCH CONSTRUCTION IS A CONTINUING OBLIGATION BINDING ON THE OWNERS AND THEIR SUCCESSORS AND ASSIGNS UNTIL THE PUBLIC IMPROVEMENTS HAVE BEEN ACCEPTED FOR MAINTENANCE BY THE COUNTY, OR THE PRIVATE IMPROVEMENTS HAVE BEEN CONSTRUCTED AND ARE PERFORMING TO COUNTY STANDARDS.

THE AUTHORIZATION OF THIS PLAT BY THE COMMISSIONERS COURT FOR FILING OR THE SUBSEQUENT ACCEPTANCE FOR MAINTENANCE BY TRAVIS COUNTY, TEXAS, OF ROADS AND STREETS IN THE SUBDIVISION DOES NOT OBLIGATE THE COUNTY TO INSTALL STREET NAME SIGNS OR ERECT TRAFFIC CONTROL SIGNS, SUCH AS SPEED LIMIT, STOP SIGNS AND YIELD SIGNS, WHICH IS CONSIDERED TO BE A PART OF THE DEVELOPER'S CONSTRUCTION.

THE STATE OF TEXAS x  
THE COUNTY OF TRAVIS x I, Dana Debeauvoir, Clerk of the County Court, of Travis County, Texas, do hereby certify that on the \_\_\_\_\_ day of \_\_\_\_\_ A.D., 20\_\_\_\_. the Commissioners' Court of Travis County, Texas, passed an order authorizing the filing for record of this plat and that said order was duly entered in the minutes of said Court.

WITNESS MY HAND AND SEAL OF OFFICE of the County Court of said County, this the \_\_\_\_\_ day of \_\_\_\_\_ A.D., 20\_\_\_\_.

DANA DEBEAUVOIR, CLERK, COUNTY COURT TRAVIS COUNTY

Deputy

THE STATE OF TEXAS  
THE COUNTY OF TRAVIS  
I, Dana DeBeauvoir, Clerk of Travis County, Texas, do hereby certify that the foregoing Instrument of Writing and its Certificate of Authentication was filed for record in my office on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, A.D., at \_\_\_\_ o'clock \_\_\_\_ M. and duly recorded on the \_\_\_\_\_ day of \_\_\_\_\_, A.D., at \_\_\_\_ o'clock \_\_\_\_ M. in the Official Public Records of said County and State in Document No. \_\_\_\_\_

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY CLERK OF SAID COUNTY this the \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_, A.D

DANA DEBEAUVOIR, COUNTY CLERK TRAVIS COUNTY, TEXAS

BY: \_\_\_\_\_  
Deputy





April 23, 2020

RE: Notification for a Short Form Final Plat – Ramirez Addition Subdivision

Dear Property Owner,

The City of Manor Planning and Zoning Commission will be conducting a regularly scheduled meeting for the purpose of considering and acting upon on a short form final plat. The request will be posted on the agenda as follows:

**Public Hearing: Conduct a public hearing upon a Short Form Final Plat for Ramirez Addition Subdivision, four (4) lots on 5.00 acres more or less, and being located at 13800 Rector Loop, Manor, TX.**

The Planning and Zoning Commission will meet at 6:30PM on May 13, 2020 at 105 East Eggleston Street in the City Hall Council Chambers\*\*.

You are being notified because you own property within 300 feet of the property for which this short form final plat has been filed.

If you have no interest in the case there is no need for you to attend\*\*. You may address any comments to me at the email address or phone number below. Any communications I receive will be made available to the Commissioners during the discussion of this item.

\*\* Due to the declared Public Health Emergency related to COVID-19, at the time of this notification Planning and Zoning Commission meetings are being conducted via video conference and broadcast live on the City's Facebook page ([facebook.com/cityofmanor](https://facebook.com/cityofmanor)) and the Chambers is closed to the public.

Members of the public that wish to speak during public comments, public hearing or an agenda item will need to register in advance by visiting [www.cityofmanor.org](http://www.cityofmanor.org) where a registration link will be posted on the calendar entry for each public meeting. You will register by filling in the speaker card available for that specific meeting and submitting it to [publiccomments@cityofmanor.org](mailto:publiccomments@cityofmanor.org). Once registered, instructions will be emailed to you on how to join the video conference by calling in. Your Speaker Card must be received two (2) hours prior to scheduled meeting.

You may refer to the posted agenda for the May 13<sup>th</sup> Planning and Zoning Commission to see how the meeting will be conducted, whether via video conference or in-person. Planning and Zoning Commission agendas can be found here ([http://www.cityofmanor.org/page/cs\\_planning\\_and\\_zoning\\_agendas\\_2012-2014](http://www.cityofmanor.org/page/cs_planning_and_zoning_agendas_2012-2014)). Agendas are posted 72 hours prior to the scheduled meeting.

Sincerely,

Scott Dunlop,  
Assistant Development Director  
[sdunlop@cityofmanor.org](mailto:sdunlop@cityofmanor.org)  
512-272-5555 ext. 5

13800 Rector Loop

Property ID:

Name:

Address:

477561

WEISS JASON H

13918 Rector Loop Tx 78653

460840

Medina Gregorio

13940 Rector Loop Tx 78653

460798

Landeros Juan G

1370 Rector Loop Tx 78653

460797

Utrera Jorge A & Ciro M & Margarito M

13718 Rector Loop Tx 78653

460795

Campney Janice Kay

13814 Rector Loop Tx 78653

460793

Clyde Rachel Belk

13926 Rector Loop Tx 78653

460792

Clyde Rachel Belk

13934 Rector Loop Tx 78653

460791

Rosales Jesus & Lilia

13805 Fuchs Grove Rd Tx 78653

460788

Juarez Richard Etal

Rector Loop Tx 78653

756775

Metcalf Joseph L

13814 Rector Loop Tx 78653



AGENDA ITEM NO. <sup>5</sup>\_\_\_\_\_

## AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 13, 2020

PREPARED BY: Scott Dunlop, Assistant Development Director

DEPARTMENT: Development Services

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### AGENDA ITEM DESCRIPTION:

Conduct a public hearing upon a Preliminary Plat for St. Joseph Subdivision, one (1) lots on 24.77 acres more or less, and being located near Gregg Manor Road and Hill Lane, Manor, TX.

---

### BACKGROUND/SUMMARY:

This public hearing is for a one lot subdivision to plat a property for future development.

PRESENTATION: ☐YES ☐NO

ATTACHMENTS: ☐YES (IF YES, LIST IN ORDER TO BE PRESENTED) ☐NO

Plat

Notice Letter

Mailing Labels

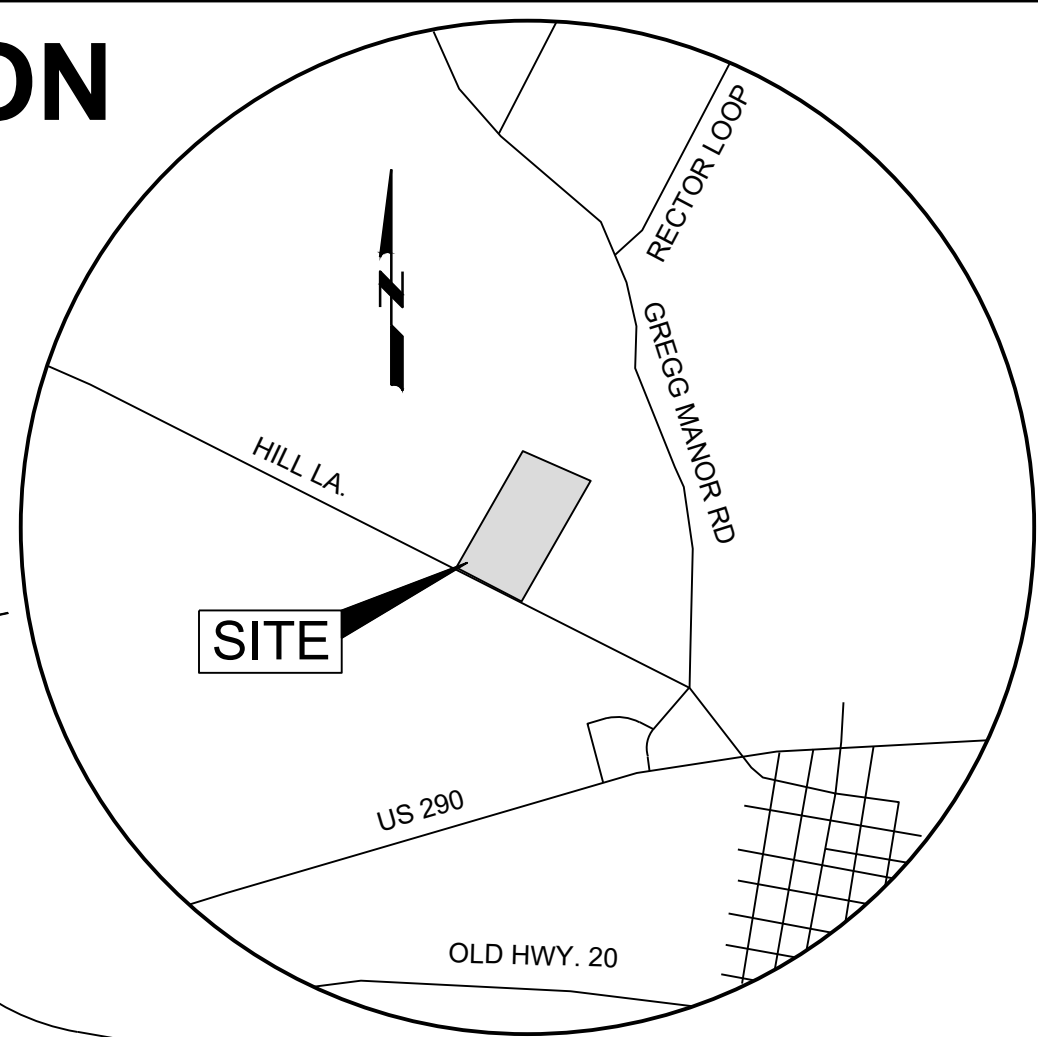
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### STAFF RECOMMENDATION:

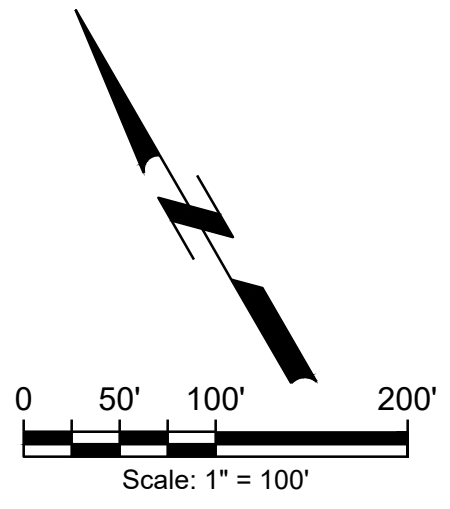
It is City staff's recommendation that the Planning and Zoning Commission conduct a public hearing upon a Preliminary Plat for St. Joseph Subdivision, one (1) lots on 24.77 acres more or less, and being located near Gregg Manor Road and Hill Lane, Manor, TX.

PLANNING & ZONING COMMISSION: ☐RECOMMENDED APPROVAL ☐DISAPPROVAL ☐NONE

ST. JOSEPH SUBDIVISION  
PRELIMINARY PLAN



LOCATION MAP  
SCALE: 1"=2000'



BUILDING

PARKING

BLDG.

CALLED 65.0 ACRES  
MANOR INDEPENDENT  
SCHOOL DISTRICT  
DOC. NO. 2001144922  
O.P.R.T.C.T.

S 71°25'59" E - 12.50' (N 68°33'49" W 12.18')

DRIVEWAY

S 72°15'15" E - 740.18'

CALLED 24.811 ACRES  
9 SUNNY PARTNERS, LP  
DOC. NO. 2005189066  
O.P.R.T.C.T.

CALLED 24.8354 ACRES  
MANOR INDEPENDENT  
SCHOOL DISTRICT  
VOL. 12597, PG. 1543  
R.P.R.T.C.T.

US 290  
ABSTRACT NO. 63  
SABAL COUNTY, TEXAS

LOT 1, BLOCK A  
24.77 ACRES

THE MOST REVEREND JOHN MCCARTHY,  
BISHOP OF THE DIOCESE OF AUSTIN  
AND HIS SUCCESSORS IN OFFICE  
VOL. 13327, PG. 702  
R.P.R.T.C.T.

LEGEND

- 1/2" IRON ROD FOUND
- BENCHMARK SET
- 5/8" IRON PIPE FOUND
- 60D NAIL FOUND
- 60D NAIL SET
- CAPPED REBAR FOUND
- "X" SET IN CONCRETE
- "X" FOUND IN CONCRETE
- SPINDLE FOUND
- PUNCH HOLE FOUND
- CHAIN LINK FENCE
- WOOD FENCE
- METAL FENCE
- CITY LIMITS
- PROPERTY LINE
- BUILDING LINE
- PUBLIC UTILITY EASEMENT
- DRAINAGE EASEMENT
- CONTROL MONUMENT
- RIGHT OF WAY
- PLACE OF BEGINNING
- OVERHEAD UTILITY LINE
- POWER POLE
- AIR CONDITIONER

O.P.R.T.C.T. = OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS

R.P.R.T.C.T. = REAL PROPERTY RECORDS, TRAVIS COUNTY, TEXAS

( ) = RECORD BEARING AND DISTANCE PER VOL. 13327, PG. 702 R.P.R.T.C.T.

N 27°05'13" E - 1392.75'

S 27°05'25" W - 1512.29'

MANOR CITY LIMITS

CITY OF AUSTIN ETJ

MANOR CITY LIMITS

BUTLER FAMILY  
PARTNERSHIP LTD  
VOL. 12271, PG. 872  
R.P.R.T.C.T.

CALLLED 214.198 ACRES  
LAS ENTRADAS DEVELOPMENT  
CORPORATION  
DOC. NO. 2007002485  
O.P.R.T.C.T.

HILL LANE (50' R.O.W.)

TEMPORARY BENCHMARK:  
SPINDLE SET IN PAVEMENT  
NAVE88 ELEVATION=537.55'

MANOR CITY LIMITS

SUBDIVISION INFORMATION

LOTS	1
LUE'S REQUIRED	10

OWNER/DEVELOPER:

CATHOLIC DIOCESE OF AUSTIN  
6225 E US 290 HWY SVRD. EB,  
AUSTIN, TX 78723

PH: 512.949.2400

ENGINEER:

TAMMI MIGL  
MIGL ENGINEERING AND CONSULTING  
9600 ESCARPMENT BLVD., STE 745-174  
AUSTIN, TX 78749

PH: 512.750.0440

SURVEYOR:

MARGARET A. NOLEN, R.P.L.S.  
CP&Y, INC.  
ONE CHISHOLM TRAIL, SUITE NO. 130  
ROUND ROCK, TEXAS 78681

PH: 512.248.0065  
TBPLS FIRM LICENSE NO. 10194125

TOPOGRAPHY:  
VICTOR M. GARZA  
B&G SURVEYING, LLO.  
1404 WEST NORTH LOOP BLVD.  
AUSTIN, TX. 78756

PH: 512.458.6969

LANDUSE:

24.76 AC. RELIGIOUS ASSEMBLY

NOTES:

- THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF MANOR CORPORATE CITY LIMITS.

THE CITY OF MANOR ACKNOWLEDGEMENTS

THE PRELIMINARY PLAN HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MANOR, TEXAS, AND IS HEREBY RECOMMENDED FOR APPROVAL BY THE CITY COUNCIL ON THIS THE \_\_\_\_ DAY OF \_\_\_\_, 20\_\_ A.D.

APPROVED:

ATTEST:

CHAIRPERSON

CITY SECRETARY

ACCEPTED AND APPROVED FOR RECORD BY THE CITY COUNCIL, CITY OF MANOR TEXAS ON THIS THE \_\_\_\_ DAY OF \_\_\_\_, 20\_\_ A.D.

BY:

ATTEST:

MAYOR OF THE CITY OF MANOR, TEXAS

CITY SECRETARY

CLIENT  
CATHOLIC DIOCESE OF AUSTIN  
6225 E US 290 HWY SVRD EB,  
AUSTIN, TX 78723

PROJECT  
ST. JOSEPH SUBDIVISION  
HILL LA,  
MANOR, TX. 78653

SHEET TITLE  
PRELIMINARY PLAN

PROJECT NO.  
0128.007.02

DATE:  
04/03/2020

SHEET NO.  
1 OF 1





April 23, 2020

RE: Notification for a Preliminary Plat – St. Joseph Subdivision

Dear Property Owner,

The City of Manor Planning and Zoning Commission will be conducting a regularly scheduled meeting for the purpose of considering and acting upon on a preliminary plat. The request will be posted on the agenda as follows:

**Public Hearing: Conduct a public hearing upon a Preliminary Plat for St. Joseph Subdivision, one (1) lots on 24.77 acres more or less, and being located near Gregg Manor Road and Hill Lane, Manor, TX.**

The Planning and Zoning Commission will meet at 6:30PM on May 13, 2020 at 105 East Eggleston Street in the City Hall Council Chambers\*\*.

You are being notified because you own property within 300 feet of the property for which this preliminary plat has been filed.

If you have no interest in the case there is no need for you to attend\*\*. You may address any comments to me at the email address or phone number below. Any communications I receive will be made available to the Commissioners during the discussion of this item.

\*\* Due to the declared Public Health Emergency related to COVID-19, at the time of this notification Planning and Zoning Commission meetings are being conducted via video conference and broadcast live on the City's Facebook page ([facebook.com/cityofmanor](https://facebook.com/cityofmanor)) and the Chambers is closed to the public.

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You may refer to the posted agenda for the May 13<sup>th</sup> Planning and Zoning Commission to see how the meeting will be conducted, whether via video conference or in-person. Planning and Zoning Commission agendas can be found here ([http://www.cityofmanor.org/page/cs\\_planning\\_and\\_zoning\\_agendas\\_2012-2014](http://www.cityofmanor.org/page/cs_planning_and_zoning_agendas_2012-2014)). Agendas are posted 72 hours prior to the scheduled meeting.

Sincerely,

Scott Dunlop,  
Assistant Development Director  
[sdunlop@cityofmanor.org](mailto:sdunlop@cityofmanor.org)  
512-272-5555 ext. 5

MANOR INDEPENDENT SCHOOL  
DISTRICT  
PO BOX 359  
MANOR, TX 78653-0359

9 SUNNY PARTNERS LP  
2207 LAKE AUSTIN BLVD  
AUSTIN, TX 78703-4547

LAS ENTRADAS DEVELOPMENT  
9900 US HWY 290 E  
MANOR, TX 78653-9720

BUTLER FAMILY PARTNERSHIP LTD  
PO BOX 9190  
AUSTIN, TX 78766-9190



## AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 13, 2020

PREPARED BY: Scott Dunlop, Assistant Development Director

DEPARTMENT: Development Services

---

### AGENDA ITEM DESCRIPTION:

Conduct a public hearing upon a Preliminary Plat for Lagos Subdivision Phases 2 – 4, three hundred fifty-three (353) lots on 96.06 acres more or less, and being located near N FM 973 and Brenham Road, Manor, TX.

---

### BACKGROUND/SUMMARY:

This public hearing is for phases 2, 3, and 4 of the Lagos Subdivision.

PRESENTATION: ☐YES ☐NO

ATTACHMENTS: ☐YES (IF YES, LIST IN ORDER TO BE PRESENTED) ☐NO

Plat

Notice Letter

Mailing Labels

---

### STAFF RECOMMENDATION:

It is City staff's recommendation that the Planning and Zoning Commission conduct a public hearing upon a Preliminary Plat for Lagos Subdivision Phases 2 – 4, three hundred fifty-three (353) lots on 96.06 acres more or less, and being located near N FM 973 and Brenham Road, Manor, TX.

PLANNING & ZONING COMMISSION: ☐RECOMMENDED APPROVAL ☐DISAPPROVAL ☐NONE

Plotted By: Walker, Jordan (Austin) Date: July 03, 2019 - 08:49:41pm File Path: K:\AUS-Civil\069241722 Lagos Manor\Draw\Preliminary Plot\PHASES 2-4\PlanSheets\C-Cover Sheet.dwg  
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

PRELIMINARY PLAT  
FOR  
LAGOS  
PHASES 2-4  
CITY OF MANOR, TRAVIS COUNTY, TEXAS

GENERAL NOTES:

1. THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF MANOR, FULL PURPOSE ANNEXATION, AND IS DESIGNATED AS A PLANNED UNIT DEVELOPMENT (PUD) SIGNED BY THE MANOR CITY COUNCIL ON OCTOBER 17, 2018.
2. THE DETENTION POND AND ASSOCIATED DRAINAGE DESIGN HAS BEEN SIZED TO MITIGATE DEVELOPED RUNOFF FOR ALL LANDUSES INCLUDED WITHIN THE BOUNDARIES OF THE LAGOS PLANNED UNIT DEVELOPMENT AS APPROVED ON JUNE 15, 2016. THIS INCLUDES PHASE 1 THRU 4 BUT EXCLUDES FUTURE PHASE 5.
3. NO PORTION OF THIS DEVELOPMENT LIES WITHIN THE 100-YEAR FLOODPLAIN, AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAP # 48453C0485J, DATED AUGUST 18, 2014.
4. PARKLAND DEDICATION REQUIREMENTS WERE SATISFIED BY EARLIER PHASES OF THE SUBDIVISION.

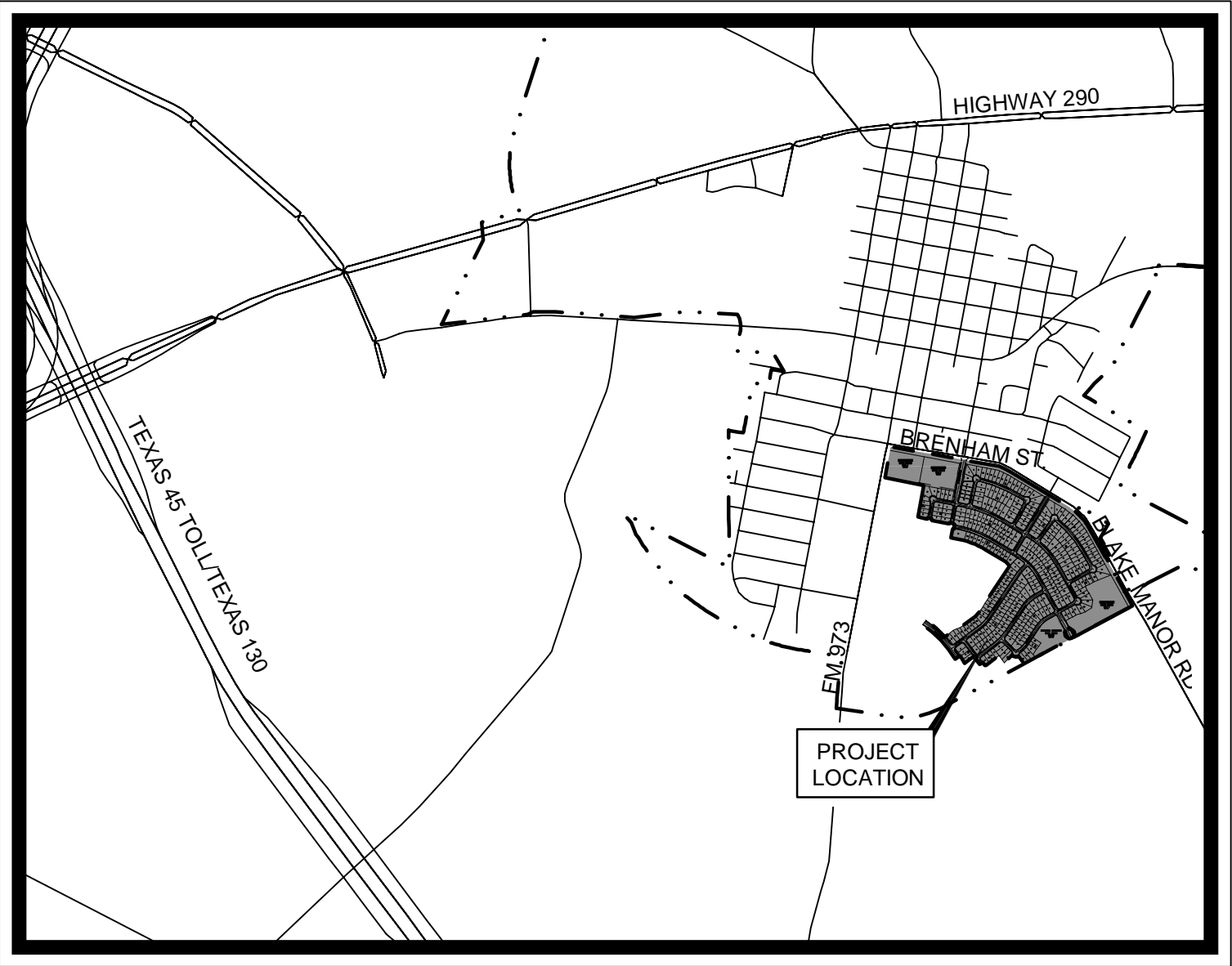
ENGINEER / SURVEYOR

Kimley»Horn

10814 JOLLYVILLE ROAD STATE OF TEXAS  
AVALLON IV, SUITE 300 REGISTRATION NO. F-928  
AUSTIN, TEXAS 78759  
PH. (512) 418-1771  
CONTACT: ROBERT J. SMITH, P.E.

OWNER/DEVELOPER

706 INVESTMENT PARTNERSHIP, LTD.  
9900 HIGHWAY 290 EAST  
MANOR, TEXAS 78653  
TEL: 512.327.7415  
CONTACT: DANNY BURNETT



VICINITY MAP

SCALE: 1" = 2,000'

JULY 2019

SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	OVERALL PLAN
3	PRELIMINARY PLAN (SHEET 1 OF 5)
4	PRELIMINARY PLAN (SHEET 2 OF 5)
5	PRELIMINARY PLAN (SHEET 3 OF 5)
6	PRELIMINARY PLAN (SHEET 4 OF 5)
7	PRELIMINARY PLAN (SHEET 5 OF 5)
8	UTILITY AND TREE PLAN (SHEET 1 OF 4)
9	UTILITY AND TREE PLAN (SHEET 2 OF 4)
10	UTILITY AND TREE PLAN (SHEET 3 OF 4)
11	UTILITY AND TREE PLAN (SHEET 4 OF 4)
12	APPROVED OVERALL EXISTING DRAINAGE LAYOUT-PHASE 1
13	APPROVED OVERALL PROPOSED DRAINAGE LAYOUT-PHASE 1
14	PROPOSED DRAINAGE LAYOUT (SHEET 1 OF 4)
15	PROPOSED DRAINAGE LAYOUT (SHEET 2 OF 4)
16	PROPOSED DRAINAGE LAYOUT (SHEET 3 OF 4)
17	PROPOSED DRAINAGE LAYOUT (SHEET 4 OF 4)
18	DRAINAGE CALCULATIONS

LEGAL DESCRIPTION

96.06 TOTAL ACRES OUT OF THE 706 INVESTMENT PARTNERSHIP TRACT, DOCUMENT # 2005114143, BARKER SURVEY, ABSTRACT 58

APPROVAL AND AUTHORIZED FOR RECORD BY THE CITY COUNCIL FOR THE CITY OF MANOR, TEXAS.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

BY: \_\_\_\_\_  
HONORABLE MAYOR RITA G. JONSE  
MAYOR OF THE CITY OF MANOR, TEXAS

THIS PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MANOR, TEXAS, AND IS HEREBY RECOMMENDED FOR APPROVAL BY THE CITY OF COUNCIL.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

BY: \_\_\_\_\_  
WILLIAM MEYERS, CHAIRPERSON

Kimley»Horn

© 2017 KIMLEY-HORN AND ASSOCIATES, INC.  
10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 300, AUSTIN, TX 78759  
PHONE: 512-418-1771 FAX: 512-418-1791  
WWW.KIMLEY-HORN.COM  
TEXAS REGISTERED ENGINEERING FIRM F-928

07/03/2019

KHA PROJECT 069241722

DATE JULY 2019

SCALE: AS SHOWN

DESIGNED BY: JDR

DRAWN BY: JDR

CHECKED BY: RJS

COVER SHEET

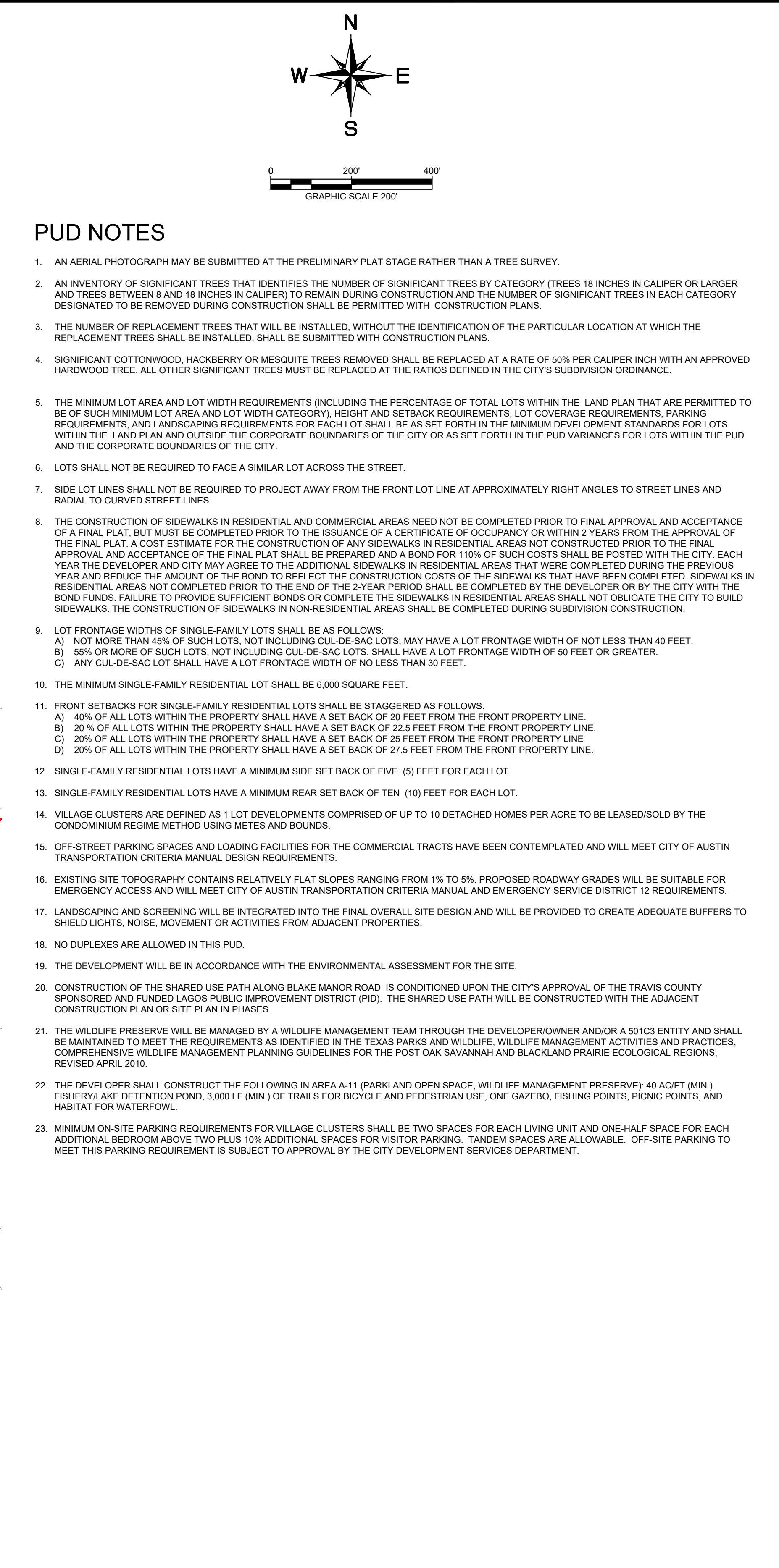
LAGOS PHASES 2-4  
CITY OF MANOR  
TRAVIS COUNTY, TEXAS

SHEET NUMBER  
1

LAGOS - PHASES 2-4

PRELIMINARY PLAT





- AN AERIAL PHOTOGRAPH WILL BE SUBMITTED AT THE PRELIMINARY PLAT STAGE RATHER THAN A TREE SURVEY.
2. AN INVENTORY OF SIGNIFICANT TREES THAT IDENTIFIES THE NUMBER OF SIGNIFICANT TREES BY CATEGORY (TREES 18 INCHES IN CALIPER OR LARGER AND TREES BETWEEN 8 AND 18 INCHES IN CALIPER) TO REMAIN DURING CONSTRUCTION AND THE NUMBER OF SIGNIFICANT TREES IN EACH CATEGORY DESIGNATED TO BE REMOVED DURING CONSTRUCTION SHALL BE PERMITTED WITH CONSTRUCTION PLANS.
3. THE NUMBER OF REPLACEMENT TREES THAT WILL BE INSTALLED, WITHOUT THE IDENTIFICATION OF THE PARTICULAR LOCATION AT WHICH THE REPLACEMENT TREES SHALL BE INSTALLED, SHALL BE SUBMITTED WITH CONSTRUCTION PLANS.
4. SIGNIFICANT COTTONWOOD, HACKBERRY OR MESQUITE TREES REMOVED SHALL BE REPLACED AT A RATE OF 50% PER CALIPER INCH WITH AN APPROVED HARDWOOD TREE. ALL OTHER SIGNIFICANT TREES MUST BE REPLACED AT THE RATIOS DEFINED IN THE CITY'S SUBDIVISION ORDINANCE.
5. THE MINIMUM LOT AREA AND LOT WIDTH REQUIREMENTS (INCLUDING THE PERCENTAGE OF TOTAL LOTS WITHIN THE LAND PLAN THAT ARE PERMITTED TO BE OF SUCH MINIMUM LOT AREA AND LOT WIDTH CATEGORY, HEIGHT AND SETBACK REQUIREMENTS, LOT COVERAGE REQUIREMENTS, PARKING REQUIREMENTS, AND LANDSCAPING REQUIREMENTS FOR EACH LOT SHALL BE AS SET FORTH IN THE MINIMUM DEVELOPMENT STANDARDS FOR LOTS WITHIN THE LAND PLAN AND OUTSIDE THE CORPORATE BOUNDARIES OF THE CITY OR AS SET FORTH IN THE PUD VARIANCES FOR LOTS WITHIN THE PUD AND THE CORPORATE BOUNDARIES OF THE CITY.
6. LOTS SHALL NOT BE REQUIRED TO FACE A SIMILAR LOT ACROSS THE STREET.
7. SIDE LOT LINES SHALL NOT BE REQUIRED TO PROJECT AWAY FROM THE FRONT LOT LINE AT APPROXIMATELY RIGHT ANGLES TO STREET LINES AND RADIAL TO CURVED STREET LINES.
8. THE CONSTRUCTION OF SIDEWALKS IN RESIDENTIAL AND COMMERCIAL AREAS NEED NOT BE COMPLETED PRIOR TO FINAL APPROVAL AND ACCEPTANCE OF THE FINAL PLAT, BUT MUST BE COMPLETED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR WITHIN 2 YEARS FROM THE APPROVAL OF THE FINAL PLAT. A COST ESTIMATE FOR THE CONSTRUCTION OF ANY SIDEWALKS IN RESIDENTIAL AREAS NOT CONSTRUCTED PRIOR TO THE FINAL APPROVAL AND ACCEPTANCE OF THE FINAL PLAT SHALL BE PREPARED AND A BOND FOR 110% OF SUCH COSTS SHALL BE POSTED WITH THE CITY. EACH YEAR THE DEVELOPER AND CITY MAY AGREE TO THE ADDITIONAL SIDEWALKS IN RESIDENTIAL AREAS THAT WERE COMPLETED DURING THE PREVIOUS YEAR AND REDUCE THE AMOUNT OF THE BOND TO REFLECT THE CONSTRUCTION COSTS OF THE SIDEWALKS THAT HAVE BEEN COMPLETED. SIDEWALKS IN RESIDENTIAL AREAS NOT COMPLETED PRIOR TO THE END OF THE 2-YEAR PERIOD SHALL BE COMPLETED BY THE DEVELOPER OR BY THE CITY WITH THE BONDING FAILURE TO PROVIDE SUFFICIENT BONDS OR COMPLETE THE SIDEWALKS IN RESIDENTIAL AREAS SHALL NOT OBLIGATE THE CITY TO BUILD SIDEWALKS. THE CONSTRUCTION OF SIDEWALKS IN NON-RESIDENTIAL AREAS SHALL BE COMPLETED DURING SUBDIVISION CONSTRUCTION.
9. LOT FRONTAGE WIDTHS OF SINGLE-FAMILY LOTS SHALL BE AS FOLLOWS:
  - A) NOT MORE THAN 45% OF SUCH LOTS, NOT INCLUDING CUL-DE-SAC LOTS, MAY HAVE A LOT FRONTAGE WIDTH OF NOT LESS THAN 40 FEET.
  - B) 55% OR MORE OF SUCH LOTS, NOT INCLUDING CUL-DE-SAC LOTS, SHALL HAVE A LOT FRONTAGE WIDTH OF 50 FEET OR GREATER.
  - C) ANY CUL-DE-SAC LOT SHALL HAVE A LOT FRONTAGE WIDTH OF NO LESS THAN 30 FEET.
10. THE MINIMUM SINGLE-FAMILY RESIDENTIAL LOT SHALL BE 6,000 SQUARE FEET.
11. FRONT SETBACKS FOR SINGLE-FAMILY RESIDENTIAL LOTS SHALL BE STAGGERED AS FOLLOWS:
  - A) 40% OF ALL LOTS WITHIN THE PROPERTY SHALL HAVE A SET BACK OF 20 FEET FROM THE FRONT PROPERTY LINE.
  - B) 20% OF ALL LOTS WITHIN THE PROPERTY SHALL HAVE A SET BACK OF 22.5 FEET FROM THE FRONT PROPERTY LINE.
  - C) 20% OF ALL LOTS WITHIN THE PROPERTY SHALL HAVE A SET BACK OF 25 FEET FROM THE FRONT PROPERTY LINE.
  - D) 20% OF ALL LOTS WITHIN THE PROPERTY SHALL HAVE A SET BACK OF 27.5 FEET FROM THE FRONT PROPERTY LINE.
12. SINGLE-FAMILY RESIDENTIAL LOTS HAVE A MINIMUM SIDE SET BACK OF FIVE (5) FEET FOR EACH LOT.
13. SINGLE-FAMILY RESIDENTIAL LOTS HAVE A MINIMUM REAR SET BACK OF TEN (10) FEET FOR EACH LOT.
14. VILLAGE CLUSTERS ARE DEFINED AS 1 LOT DEVELOPMENTS COMPRISED OF UP TO 10 DETACHED HOMES PER ACRE TO BE LEASED/SOLD BY THE CONDOMINIUM REGIME METHOD USING METES AND BOUNDS.
15. OFF-STREET PARKING SPACES AND LOADING FACILITIES FOR THE COMMERCIAL TRACTS HAVE BEEN CONTEMPLATED AND WILL MEET CITY OF AUSTIN TRANSPORTATION CRITERIA MANUAL DESIGN REQUIREMENTS.
16. EXISTING SITE TOPOGRAPHY CONTAINS RELATIVELY FLAT SLOPES RANGING FROM 1% TO 5%. PROPOSED ROADWAY GRADES WILL BE SUITABLE FOR EMERGENCY ACCESS AND WILL MEET CITY OF AUSTIN TRANSPORTATION CRITERIA MANUAL AND EMERGENCY SERVICE DISTRICT 12 REQUIREMENTS.
17. LANDSCAPING AND SCREENING WILL BE INTEGRATED INTO THE FINAL OVERALL SITE DESIGN AND WILL BE PROVIDED TO CREATE ADJACENT BUFFERS TO SHIELD LIGHTS, NOISE, MOVEMENT OR ACTIVITIES FROM ADJACENT PROPERTIES.
18. NO DUPLEXES ARE ALLOWED IN THIS PUD.
19. THE DEVELOPMENT WILL BE IN ACCORDANCE WITH THE ENVIRONMENTAL ASSESSMENT FOR THE SITE.
20. CONSTRUCTION OF THE SHARED USE PATH ALONG BLAKE MANOR ROAD IS CONDITIONED UPON THE CITY'S APPROVAL OF THE TRAVIS COUNTY SPONSORED AND FUNDED LAGOS PUBLIC IMPROVEMENT DISTRICT (PID). THE SHARED USE PATH WILL BE CONSTRUCTED WITH THE ADJACENT CONSTRUCTION PLAN OR SITE PLAN IN PHASES.
21. THE WILDLIFE PRESERVE WILL BE MANAGED BY A WILDLIFE MANAGEMENT TEAM THROUGH THE DEVELOPER/OWNER AND/OR A 501(C)3 ENTITY AND SHALL BE MAINTAINED TO MEET THE REQUIREMENTS AS IDENTIFIED IN THE TEXAS PARKS AND WILDLIFE, WILDLIFE MANAGEMENT ACTIVITIES AND PRACTICES, COMPREHENSIVE WILDLIFE MANAGEMENT PLANNING GUIDELINES FOR THE POST OAK SAVANNAH AND BLACKLAND PRAIRIE ECOLOGICAL REGIONS, REVISED APRIL 2010.
22. THE DEVELOPER SHALL CONSTRUCT THE FOLLOWING IN AREA A-11 (PARKLAND OPEN SPACE, WILDLIFE MANAGEMENT PRESERVE): 40 ACFT (MIN.) FISHERY LAKE DETENTION POND, 3,000 LF (MIN.) OF TRAILS FOR BICYCLE AND PEDESTRIAN USE, ONE GAZEBO, FISHING PONTS, PICNIC POINTS, AND HABITAT FOR WATERFOWL.
23. MINIMUM ON-SITE PARKING REQUIREMENTS FOR VILLAGE CLUSTERS SHALL BE TWO SPACES FOR EACH LIVING UNIT AND ONE-HALF SPACE FOR EACH ADDITIONAL BEDROOM ABOVE TWO PLUS 10% ADDITIONAL SPACES FOR VISITOR PARKING. TANDEM SPACES ARE ALLOWABLE. OFF-SITE PARKING TO MEET THIS PARKING REQUIREMENT IS SUBJECT TO APPROVAL BY THE CITY DEVELOPMENT SERVICES DEPARTMENT.

[illegible]

A circular professional engineer seal for the State of Texas. The outer ring contains the text "STATE OF TEXAS" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by two stars on each side. Inside the ring is a five-pointed star. Below the star, the text "ROBERT J. SMITH" is written, followed by the license number "106319" and the word "LICENSED".

KHA PROJECT 069241722
DATE JULY 2019
SCALE: AS SHOWN
DESIGNED BY: JDR
DRAWN BY: JDR
CHECKED BY: RJJS

**LAGOS  
PHASES 2-4  
CITY OF MANOR  
TRAVIS COUNTY, TEXAS**

SHEET NUMBER  
2





April 22, 2020

RE: Notification for a Preliminary Plat – Lagos Subdivision Phases 2 - 4

Dear Property Owner,

The City of Manor Planning and Zoning Commission will be conducting a regularly scheduled meeting for the purpose of considering and acting upon on a preliminary plat. The request will be posted on the agenda as follows:

**Public Hearing: Conduct a public hearing upon a Preliminary Plat for Lagos Subdivision Phases 2 – 4, three hundred fifty-three (353) lots on 96.06 acres more or less, and being located near N FM 973 and Brenham Road, Manor, TX.**

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Sincerely,

Scott Dunlop,  
Assistant Development Director  
[sdunlop@cityofmanor.org](mailto:sdunlop@cityofmanor.org)  
512-272-5555 ext. 5

DANIEL RIVAS III AND MARTHA  
EUGENIA

16825 HAMILTON POINT CIRCLE  
MANOR, TX 78653

VALERIE NGUYEN

16905 HAMILTON POINT CIRCLE  
MANOR, TX 78653

STEVE AND ROCHENDA MCBRIDE

PO BOX 23  
MANOR, TX 78653

DARRELL WAYNE SCRUGGS

16925 HAMILTON POINT CIRCLE  
MANOR, TX 78653

JAIME AND MARIBEL VASQUEZ

PO BOX 541  
MANOR, TX 78653

PEARLMAN ROBERT FAMILY TRUST

40 CONNERS ROAD  
VILLA RICA, GA 30180

WILD HORSE CREEKSIDE COMMERCIAL  
LP

9900 US HIGHWAY 290 E  
MANOR, TX 78653

VILLAGE OAKS CENTER LTD

PO BOX 200880  
AUSTIN, TX 78720

WILD HORSE CREEKSIDE COMMERCIAL  
LP

9900 US HIGHWAY 290 E  
MANOR, TX 78653

ANGIE THOMPSON

16829 HAMILTON POINT CIRCLE  
MANOR, TX 78653

EDDY MATOS AND SARA RANGEL

16909 HAMILTON POINT CIRCLE  
MANOR, TX 78653

MARY WRIGHT

16921 HAMILTON POINT CIRCLE  
MANOR, TX 78653

HELEN HUINING LIU

PO BOX 10253  
AUSTIN, TX 78766

ELNORA MARIE HIGGINS

PO BOX 118  
MANOR, TX 78653

WILD HORSE CREEKSIDE COMMERCIAL  
LP

9900 US HIGHWAY 290 E  
MANOR, TX 78653

WILD HORSE CREEKSIDE COMMERCIAL  
LP

9900 US HIGHWAY 290 E  
MANOR, TX 78653

WILD HORSE CREEKSIDE COMMERCIAL  
LP

9900 US HIGHWAY 290 E  
MANOR, TX 78653

PROVENCE INVESTMENTS LLC

2911 SIX GUN TRAIL  
AUSTIN, TX 78748

MANUEL GARCIA JR

16913 HAMILTON POINT CIRCLE  
MANOR, TX 78653

4CF INVESTMENTS - 4 LLC

1525 CYPRESS CREEK RD STE H PMB  
111

CEAR PARK, TX 78613

SANDRA SANDERS

17001 HAMILTON POINT CIRCLE  
MANOR, TX 78653

MANOR 973 LLC

4215 LAGO VIENTO  
AUSTIN, TX 78734

WILD HORSE CREEKSIDE COMMERCIAL  
LP

9900 US HIGHWAY 290 E  
MANOR, TX 78653

WILD HORSE CREEKSIDE COMMERCIAL  
LP

9900 US HIGHWAY 290 E  
MANOR, TX 78653

WILD HORSE CREEKSIDE COMMERCIAL  
LP

9900 US HIGHWAY 290 E  
MANOR, TX 78653



CAROLINA FLORES  
16705 HAMILTON POINT CIRCLE  
MANOR, TX 78653

LUCIO MEZA  
16717 HAMILTON POINT CIRCLE  
MANOR, TX 78653

MARLENE M SMITH TRUSTEE  
16912 HAMILTON POINT CIRCLE  
MANOR, TX 78653

OLIVIA AGUILAR  
16900 HAMILTON POINT CIRCLE  
MANOR, TX 78653

STACIA MAYER  
16820 HAMILTON POINT CIRCLE  
MANOR, TX 78653

PAULINE L SCHANK  
16808 HAMILTON POINT CIRCLE  
MANOR, TX 78653

MARK J DAVILA  
1309 CORANDER DR  
AUSTIN, TX 78741

SALVADOR & MARIA GE GONZALEZ  
16716 HAMILTON POINT CIRCLE  
MANOR, TX 78653

AMADO & DONNEL ALMAGUER  
16704 HAMILTON POINT CIRCLE  
MANOR, TX 78653

NATALIE G HENRY  
16813 HAMILTON POINT CIRCLE  
MANOR, TX 78653

ANTONIO ESPARZA  
11507 HEREFORD STREET  
MANOR, TX 78653

EVERETT AND PAULA G ISON  
16721 HAMILTON POINT CIRCLE  
MANOR, TX 78653

DENISE R GUERRA  
15201 SWEET CADDIES DR  
PFLUGERVILLE, TX 78660

TRAVIS COUNTY HARRIS FAMILY LAND  
TRUST  
16828 HAMILTON POINT CIRCLE  
MANOR, TX 78653

MARIO A GODINA JR & PATRICIA DE LA  
ROSA  
111 SINGLE OAK CROSSING  
CEDAR CREEK, TX 78612

VICKY J ROCH  
16804 HAMILTON POINT CIRCLE  
MANOR, TX 78653

JAMES L & JUDY F STOREY  
16724 HAMILTON POINT CIRCLE  
MANOR, TX 78653

QUINCY & COURTNEY SIMON  
16712 HAMILTON POINT CIRCLE  
MANOR, TX 78653

MARGARITO G AND SILVIA E ESPINO  
16805 HAMILTON POINT CIRCLE  
MANOR, TX 78653

JILL ANTIONETTE KINGSTON  
16817 HAMILTON POINT CIRCLE  
MANOR, TX 78653

JOSE ROGELIO PEREZ & MARIA  
RAMONA PEREZ  
16713 HAMILTON POINT CIRCLE  
MANOR, TX 78653

MARIA AND EDGAR MORENO  
16725 HAMILTON POINT CIRCLE  
MANOR, TX 78653

GWENDOLYN J CAMPBELL  
16904 HAMILTON POINT CIRCLE  
MANOR, TX 78653

CARL S & JACQUELIN MROZ  
16824 HAMILTON POINT CIRCLE  
MANOR, TX 78653

REBECCA GASPAR  
16812 HAMILTON POINT CIRCLE  
MANOR, TX 78653

TAWNY ROSE MORELAND  
16800 HAMILTON POINT CIRCLE  
MANOR, TX 78653

ANZELMO & BRENDA PORTILLO  
16720 HAMILTON POINT CIRCLE  
MANOR, TX 78653

VICENTE CRUZ & ANA M FLORES  
16708 HAMILTON POINT CIRCLE  
MANOR, TX 78653

PEGUES KATRINA SWAIN  
16809 HAMILTON POINT CIRCLE  
MANOR, TX 78653

STEVEN AND TERENCE KAUCHER  
16821 HAMILTON POINT CIRCLE  
MANOR, TX 78653

SEPECO

PO BOX 170309

AUSTIN, TX 78717

JESSIE H WILLIAMS

310 S BURNET STREET

MANOR, TX 78653

MOLLY G REYES

PO BOX 2

MANORM, TX 78653

TANCOR LLC

9009 FAIRWAY HILL DRIVE

AUSTIN, TX 78750

LITTLE ZION BAPTIST CHURCH

3102 REXFORD DRIVE

AUSTIN, TX 78723

JOSEPH A STERNS & LIFE ESTATE

11303 TEDFORD STREET

AUSTIN, TX 78753

CATHERINE KLAUSE

PO BOX 805

MANOR, TX 78653

RUDOLFO MOSES REYES

PO BOX 123

MANOR, TX 78653

RAUL C HERNANDEZ

16613 HAMILTON POINT CIRCLE

MANOR, TX 78653

REFUGIA M & PETE PEREZ

16621 HAMILTON POINT CIRCLE

MANOR, TX 78653

MARTIN & MARIA CASTILLO

PO BOX 453

MANOR, TX 78653

GILDON CREEK BAPTIST CHURCH

PO BOX 856

MANOR, TX 78653

JOSE LUIS JUAREZ

116 CHRISTENSEN ROAD

ELGIN, TX 78621

RUBEN CORONADO

209 MALDONADO TRAIL

DEL VALLE, TX 78617

LITTLE ZION BAPTIST CHURCH

406 EAST BURTON STREET

MANOR, TX 78653

FIRST BAPTIST CHURCH

PO BOX 184

MANOR, TX 78653

VICTOR AND SHEILA EGBUONYE

11613 PILLION PLACE

MANOR, TX 78653

RUDOLFO MOSES REYES

17411 BLAKE MANOR ROAD

MANOR, TX 78653

SUE EDWARDS

16617 HAMILTON POINT CIRCLE

MANOR, TX 78653

CITY OF MANOR

201 EAST PARSONS STREET

MANOR, TX 78653

ANALILIA ESQUIVEL HERRERA

5806 JFK DRIVE

AUSTIN, TX 78724

JAMES JOYNER ESTATE

5101 HEFLIN LANE

AUSTIN, TX 78721

MARIA REBECA VERA

18100 MAXA DRIVE

MANOR, TX 78653

GILDON CREEK FIRST BAPTIST CHURCH

PO BOX 856

MANOR, TX 78653

JOSEPH A STERNS & LIFE ESTATE

11303 TEDFORD STREET

AUSTIN, TX 78753

JOSE TOBIAS NERI

502 BURTON STREET

MANOR, TX 78653

VICTOR AND SHEILA EGBUONYE

11613 PILLION PLACE

MANOR, TX 78653

HAMILTON POINT HOMEOWNERS  
ASSOCIATION INC

PO BOX 7079

ROUND ROCK, TX 78663

REFUGIA AND PETE PEREZ

16621 HAMILTON POINT CIRCLE

MANOR, TX 78653

ADELINA F GOMEZ

16701 HAMILTON POINT CIRCLE

MANOR, TX 78653

706 INVESTMENT PARTNERSHIP LTD  
9900 US HIGHWAY 290 E  
MANOR, TX 78653

706 INVESTMENT PARTNERSHIP LTD  
9900 US HIGHWAY 290 E  
MANOR, TX 78653

THERMAL MECHANICAL CONTRACTORS  
PO BOX 646  
MANOR, TX 78653

JUAN F MARIN ESQUIVEL & DIANA N  
ZUNIGA TOBIAS  
PO BOX 1225  
MANOR, TX 78653

CATARINO M TORALES & ALVELETICIA  
RIVERA  
PO BOX 408  
MANOR, TX 78653

SEPECO  
PO BOX 170309  
AUSTIN, TX 78717

KARIL SUE EVANS  
1407 MARCUS PLACE  
AUSTIN, TX 78721

ROGER F. WHITE  
PO BOX 308  
MANOR, TX 78653

ROGER F. WHITE  
PO BOX 308  
MANOR, TX 78653

ENEDINA LEDESMA  
PO BOX 114  
MANOR, TX 78653

706 INVESTMENT PARTNERSHIP LTD  
9900 US HIGHWAY 290 E  
MANOR, TX 78653

706 INVESTMENT PARTNERSHIP LTD  
9900 US HIGHWAY 290 E  
MANOR, TX 78653

MANOR 973 LLC  
4215 LAGO VIENTO  
AUSTIN, TX 78734

OTHA B & VELMA L SMITH  
10605 WENTWORTH DR  
ROWLETT, TX 75089

MABEL JONES C/O MARY LEE MORE  
530 KIRTRIGHT ST  
SAN DIEGO, CA 92114

MARY A FABIAN & JOE A PEREZ  
PO BOX 534  
MANOR, TX 78653

SEPECO  
PO BOX 170309  
AUSTIN, TX 78717

ROGER F. WHITE  
PO BOX 308  
MANOR, TX 78653

PAUL VILLALOBOS  
PO BOX 971  
MANOR, TX 78653

GLENN & RUTH SAULS  
206 BURTON STREET N  
MANOR, TX 78653

706 INVESTMENT PARTNERSHIP LTD  
9900 US HIGHWAY 290 E  
MANOR, TX 78653

ISHIV INVESTMENTS LLC  
4526 LAGO VIENTO  
AUSTIN, TX 78734

SEPECO  
PO BOX 170309  
AUSTIN, TX 78717

JOSE I GUTIERREZ  
2501 LANSBURY DR  
AUSTIN, TX 78723

SEPECO  
PO BOX 170309  
AUSTIN, TX 78717

IRAI HUERTA MARTINEZ  
5005 BLUE SPRUCE CIRCLE B UNIT 1  
AUSTIN, TX 78723

PAUL VILLALOBOS  
PO BOX 971  
MANOR, TX 78653

ROGER WHITE  
PO BOX 308  
MANOR, TX 78653

CAMILLA ETAL  
3801 WICHITA STREET  
HOUSTON, TX 77004

SEPECO  
PO BOX 170309  
AUSTIN, TX 78717



AGENDA ITEM NO. 7

## AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 13, 2020

PREPARED BY: Scott Dunlop, Assistant Development Director

DEPARTMENT: Development Services

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### AGENDA ITEM DESCRIPTION:

Conduct a public hearing upon a Preliminary Plat for Lagos Subdivision Phase 5, forty-four (44) lots on 28.62 acres more or less, and being located near N FM 973 and Murchison Street, Manor, TX.

---

### BACKGROUND/SUMMARY:

This public hearing is for phase 5 of the Lagos Subdivision, which is the final phase for the preliminary plats.

PRESENTATION: ☐ YES ☐ NO

ATTACHMENTS: ☐ YES (IF YES, LIST IN ORDER TO BE PRESENTED) ☐ NO

Plat

Notice Letter

Mailing Labels

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### STAFF RECOMMENDATION:

It is City staff's recommendation that the Planning and Zoning Commission conduct a public hearing upon a Preliminary Plat for Lagos Subdivision Phase 5, forty-four (44) lots on 28.62 acres more or less, and being located near N FM 973 and Murchison Street, Manor, TX.

PLANNING & ZONING COMMISSION: ☐ RECOMMENDED APPROVAL ☐ DISAPPROVAL ☐ NONE

Plotted By: Walker, Jordan (Austin) Date: July 03, 2019 12:28:11pm File Path: K:\AUS-Civil\069241722 Lagos Manor\Drawings\Preliminary Plat\PHASE 5\Cov\PlanSheets\C-Cover\_Sheet.dwg  
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

PRELIMINARY PLAT  
FOR  
**LAGOS  
PHASE 5**  
CITY OF MANOR, TRAVIS COUNTY COUNTY, TEXAS

GENERAL NOTES:

1. THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF MANOR, FULL PURPOSE ANNEXATION, AND IS DESIGNATED AS A PLANNED UNIT DEVELOPMENT (PUD) SIGNED BY THE MANOR CITY COUNCIL ON OCTOBER 17TH, 2018.
2. THE DETENTION POND AND ASSOCIATED DRAINAGE DESIGN HAS BEEN SIZED TO MITIGATE DEVELOPED RUNOFF FOR ALL LAND USES INCLUDED WITHIN THE BOUNDARIES OF THE LAGOS PLANNED UNIT DEVELOPMENT AS APPROVED ON OCTOBER 17TH, 2018.
3. NO PORTION OF THIS DEVELOPMENT LIES WITHIN THE 100-YEAR FLOODPLAIN, AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAP # 48453C0485J, DATED AUGUST 18, 2014.
4. PARKLAND DEDICATION REQUIREMENTS WERE SATISFIED BY EARLIER PHASES OF THE SUBDIVISION.

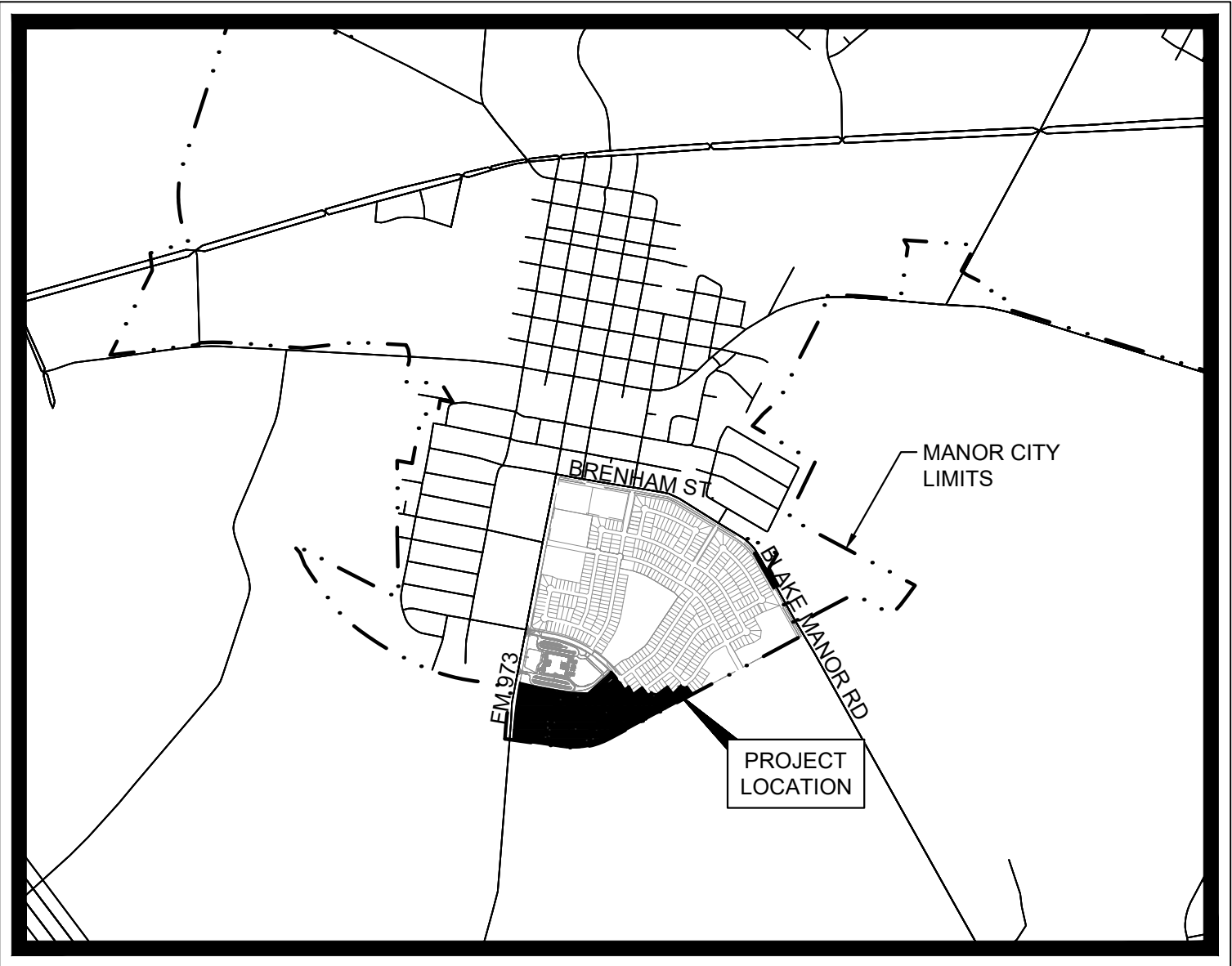
ENGINEER / SURVEYOR

**Kimley»Horn**

10814 JOLLYVILLE ROAD STATE OF TEXAS  
AVALLON IV, SUITE 300 REGISTRATION NO. F-928  
AUSTIN, TEXAS 78759  
PH. (512) 418-1771  
CONTACT: ROBERT J. SMITH, P.E.

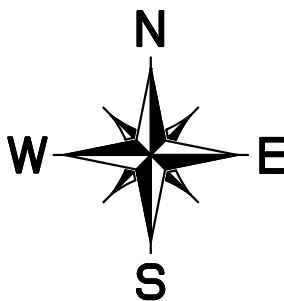
OWNER/DEVELOPER

706 INVESTMENT PARTNERSHIP, LTD.  
9900 HIGHWAY 290 EAST  
MANOR, TEXAS 78653  
TEL: 512.327.7415  
CONTACT: DANNY BURNETT



VICINITY MAP

SCALE: 1" = 2,000'



SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	PRELIMINARY PLAN
3	UTILITY AND TREE PLAN
4	APPROVED OVERALL EXISTING DRAINAGE LAYOUT
5	OVERALL PROPOSED DRAINAGE LAYOUT-PHASE 5
6	PROPOSED DRAINAGE LAYOUT

LEGAL DESCRIPTION

28.62 ACRES OF LAND LOCATED IN THE JAMES MANOR SURVEY NO. 39, ABSTRACT NO. 528, JAMES MANOR SURVEY NO. 40, ABSTRACT NO. 566, AND CALVIN BARKER SURVEY NO. 38, ABSTRACT NO. 58, CITY OF MANOR, TRAVIS COUNTY, TEXAS.

APPROVAL AND AUTHORIZED FOR RECORD BY THE CITY COUNCIL FOR THE CITY OF MANOR, TEXAS.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

BY: \_\_\_\_\_  
HONORABLE MAYOR RITA G. JONSE  
MAYOR OF THE CITY OF MANOR, TEXAS

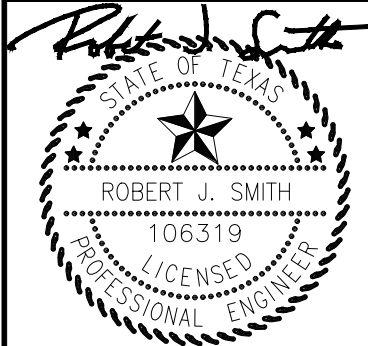
THIS PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MANOR, TEXAS, AND IS HEREBY RECOMMENDED FOR APPROVAL BY THE CITY OF COUNCIL.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

BY: \_\_\_\_\_  
WILLIAM MEYERS, CHAIRPERSON

**Kimley»Horn**

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10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 300, AUSTIN, TX 78759  
PHONE: 512-418-1771 FAX: 512-418-1791  
WWW.KIMLEY-HORN.COM  
TEXAS REGISTERED ENGINEERING FIRM F-928



07/03/2019

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
069241722	JULY 2019	AS SHOWN	KJB	JMW	RJS

COVER SHEET

LAGOS  
PHASE 5  
CITY OF MANOR  
TRAVIS COUNTY, TEXAS

SHEET NUMBER  
1

PRELIMINARY PLAN

KHA PROJECT NO. 069241722

LAGOS - PHASE 5









April 23, 2020

RE: Notification for a Preliminary Plat – Lagos Subdivision Phase 5

Dear Property Owner,

The City of Manor Planning and Zoning Commission will be conducting a regularly scheduled meeting for the purpose of considering and acting upon on a preliminary plat. The request will be posted on the agenda as follows:

**Public Hearing: Conduct a public hearing upon a Preliminary Plat for Lagos Subdivision Phase 5, forty-four (44) lots on 28.62 acres more or less, and being located near N FM 973 and Murchison Street, Manor, TX.**

The Planning and Zoning Commission will meet at 6:30PM on May 13, 2020 at 105 East Eggleston Street in the City Hall Council Chambers\*\*.

You are being notified because you own property within 300 feet of the property for which this preliminary plat has been filed.

If you have no interest in the case there is no need for you to attend\*\*. You may address any comments to me at the email address or phone number below. Any communications I receive will be made available to the Commissioners during the discussion of this item.

\*\* Due to the declared Public Health Emergency related to COVID-19, at the time of this notification Planning and Zoning Commission meetings are being conducted via video conference and broadcast live on the City's Facebook page ([facebook.com/cityofmanor](https://facebook.com/cityofmanor)) and the Chambers is closed to the public.

Members of the public that wish to speak during public comments, public hearing or an agenda item will need to register in advance by visiting [www.cityofmanor.org](http://www.cityofmanor.org) where a registration link will be posted on the calendar entry for each public meeting. You will register by filling in the speaker card available for that specific meeting and submitting it to [publiccomments@cityofmanor.org](mailto:publiccomments@cityofmanor.org). Once registered, instructions will be emailed to you on how to join the video conference by calling in. Your Speaker Card must be received two (2) hours prior to scheduled meeting.

You may refer to the posted agenda for the May 13<sup>th</sup> Planning and Zoning Commission to see how the meeting will be conducted, whether via video conference or in-person. Planning and Zoning Commission agendas can be found here ([http://www.cityofmanor.org/page/cs\\_planning\\_and\\_zoning\\_agendas\\_2012-2014](http://www.cityofmanor.org/page/cs_planning_and_zoning_agendas_2012-2014)). Agendas are posted 72 hours prior to the scheduled meeting.

Sincerely,

Scott Dunlop,  
Assistant Development Director  
[sdunlop@cityofmanor.org](mailto:sdunlop@cityofmanor.org)  
512-272-5555 ext. 5

WILD HORSE CREEKSIDE  
COMMERCIAL LP  
9900 US HIGHWAY 290 E  
MANOR, TX 78653

WILD HORSE CREEKSIDE  
COMMERCIAL LP  
9900 US HIGHWAY 290 E  
MANOR, TX 78653

706 INVESTMENT PARTNERSHIP LTD  
9900 US HIGHWAY 290 E  
MANOR, TX 78653

706 INVESTMENT PARTNERSHIP LTD  
9900 US HIGHWAY 290 E  
MANOR, TX 78653

706 INVESTMENT PARTNERSHIP LTD  
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9900 US HIGHWAY 290 E  
MANOR, TX 78653

706 INVESTMENT PARTNERSHIP LTD  
9900 US HIGHWAY 290 E  
MANOR, TX 78653

BOARD OF TRUSTEES OF THE  
MANOR  
10335 US HIGHWAY 290 E  
MANOR, TX 78653

BOARD OF TRUSTEES OF THE  
MANOR  
10335 US HIGHWAY 290 E  
MANOR, TX 78653

706 DEVELOPMENT CORP  
9900 US HIGHWAY 290 E  
MANOR, TX 78653

706 INVESTMENT PARTNERSHIP LTD  
9900 US HIGHWAY 290 E  
MANOR, TX 78653

706 DEVELOPMENT CORP  
9900 US HIGHWAY 290 E  
MANOR, TX 78653

706 DEVELOPMENT CORP  
9900 US HIGHWAY 290 E  
MANOR, TX 78653

706 DEVELOPMENT CORP  
9900 US HIGHWAY 290 E  
MANOR, TX 78653





AGENDA ITEM NO. 8

## AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 13, 2020

PREPARED BY: Scott Dunlop, Assistant Development Director

DEPARTMENT: Development Services

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### AGENDA ITEM DESCRIPTION:

Conduct a public hearing upon a Rezoning Application for Lots 4 and 5, Block 43, Town of Manor, locally known as 101 West Boyce Street from Single Family (SF-1) to Neighborhood Business (NB).

---

### BACKGROUND/SUMMARY:

This property is at the NW corner of Lexington and Boyce. The property across Lexington is zoned Neighborhood Business and is used as a daycare. The property is .264 acres.

PRESENTATION: ☐ YES ☐ NO

ATTACHMENTS: ☐ YES (IF YES, LIST IN ORDER TO BE PRESENTED) ☐ NO

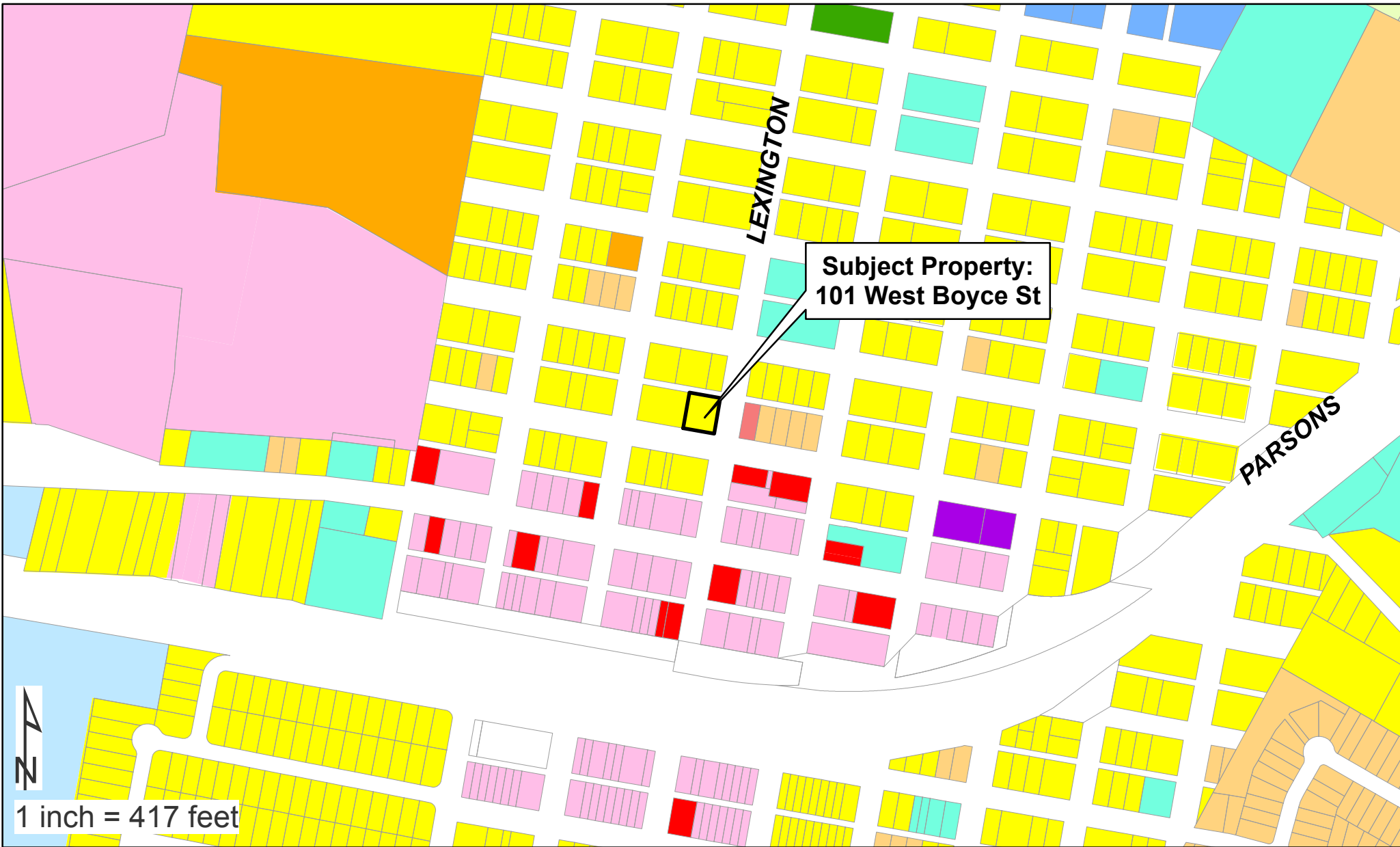
Rezoning Map  
Area Image  
Notice Letter  
Mailing Letter

---

### STAFF RECOMMENDATION:

It is City staff's recommendation that the Planning and Zoning Commission conduct a public hearing upon a Rezoning Application for Lots 4 and 5, Block 43, Town of Manor, locally known as 101 West Boyce Street from Single Family (SF-1) to Neighborhood Business (NB).

PLANNING & ZONING COMMISSION: ☐ RECOMMENDED APPROVAL ☐ DISAPPROVAL ☐ NONE



## Proposed Rezoning: Neighborhood Business (NB)

*Current Zoning District:  
Single Family (SF-1)*

### Zone

SF-1 - Single Family	DB - Downtown Business District
SF-2 - Single Family	NB - Neighborhood Business
MF-2 - Multi Family	IN-1 - Light Industrial
MH-1 - Manufactured Housing	IN-2 - Heavy Industrial
MH-2 - Manufactured Housing Park	I - Institutional
C-1 - Light Commercial	PUD - Planned Unit Development
C-2 - Medium Commercial	A - Agricultural
	Manor ETJ









April 22, 2020

RE: Notification for a Rezoning Application – 101 West Boyce Street

Dear Property Owner,

The City of Manor Planning and Zoning Commission and City Council will be conducting regularly scheduled meetings for the purpose of considering and acting upon on a rezoning application. The request will be posted on the agenda as follows:

**Public Hearing: Conduct a public hearing upon a Rezoning Application for Lots 4 and 5, Block 43, Town of Manor, locally known as 101 West Boyce Street from Single Family (SF-1) to Neighborhood Business (NB).**

The Planning and Zoning Commission will meet at 6:30PM on May 13, 2020 at 105 East Eggleston Street in the City Hall Council Chambers\*\*.

The City Council will meet at 7:00PM on May 20, 2020 at 105 East Eggleston Street in the City Hall Council Chambers\*\*.

You are being notified because you own property within 300 feet of the property for which this rezoning application has been filed.

If you have no interest in the case there is no need for you to attend\*\*. You may address any comments to me at the email address or phone number below. Any communications I receive will be made available to the Commissioners and Council Members during the discussion of this item.

\*\* Due to the declared Public Health Emergency related to COVID-19, at the time of this notification Planning and Zoning Commission and City Council meetings are being conducted via video conference and broadcast live on the City's Facebook page ([facebook.com/cityofmanor](https://facebook.com/cityofmanor)) and the Chambers is closed to the public.

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You may refer to the posted agenda for the May 13<sup>th</sup> Planning and Zoning Commission and the May 20<sup>th</sup> City Council to see how the meeting will be conducted, whether via video conference or in-person. Planning and Zoning Commission agendas can be found here ([http://www.cityofmanor.org/page/cs\\_planning\\_and\\_zoning\\_agendas\\_2012-2014](http://www.cityofmanor.org/page/cs_planning_and_zoning_agendas_2012-2014)) and City Council agenda can be found here (<http://www.cityofmanor.org/page/cc.agendas.2020>). Agendas are posted 72 hours prior to the scheduled meeting.

Sincerely,

  
Scott Dunlop,  
Assistant Development Director  
[sdunlop@cityofmanor.org](mailto:sdunlop@cityofmanor.org)  
512-272-5555 ext. 5

OFILIA ESTRADA  
PO BOX 108  
MANOR, TX 78653-0108

EMMA GILDON  
PO BOX 872  
MANOR, TX 78653-0872

ROSALINDA RODRIGUEZ  
105 WEST EGGLESTON ST  
MANOR, TX 78653-3371

JENNEL LEHNOFF  
103 WEST EGGLESTON ST  
MANOR, TEXAS 7853-3371

JAMES T LUTZ & ALEXANDRA CARRILLO  
14812 FM 973 N  
MANOR, TX 78653-3540

VERONICA MICHELLE DONLEY  
204 WEST EGGLESTON ST  
MANOR, TX 78653-0547

MONICA ANN CASTILLO  
PO BOX 1097  
MANOR, TX 78653-1097

JUAN VASQUEZ JR & DIANA E GERL  
PO BOX 499  
MANOR, TX 78653-0499

CLAUDIE G & SAMMIE M YOUNG  
PO BOX 154  
MANOR, TX 78653-0145

RAMON E PAIZ JR  
PO BOX 280  
MANOR, TX 78653-0280

JUAN OJEDA MENDEZ  
104 EAST EGGLESTON ST  
MANOR, TX 78653-3407

MOSES ACOSTA  
106 EAST EGGLESTON ST  
MANOR, TX 78653

MIGUEL ANGEL & GLORIA ALVARADO  
PO BOX 249  
MANOR, TX 78653-0294

JOSE SABAS & ELICIE CASTILLO  
PO BOX 1097  
MANOR, TX 78653-1097

NORA L & JOSE A SANCHEZ  
PO BOX 232  
MANOR, TX 78653-0232

FIDENSIO CASTILLO AND REBECCA  
RAMOS  
16508 FM 973 N  
MANOR, TX 78653

AZ GENERAL CONTRACTORS LLC  
8104 POSTEN LN  
AUSTIN, TX 78744-1730

BEHZAD BAHRAMI  
PO BOX 82653  
AUSTIN, TX 78707-2653

TANCOR, LLC  
9009 FAIRWAY HILL DR  
AUSTIN, TX 78750-3023

JESSE & OLIVIA SANCHEZ  
PO BOX 811  
MANOR, TX 78653-0811

GLORIA BRISENO HERNANDEZ &  
JENNIFER REESE PARKER  
108 WEST BOYCE ST  
MANOR, TX 78653

JORGE MORENO  
11303 CARRIE MANOR ST  
MANOR, TX 78653-5369

WILLIAM C GAULT  
PO BOX 32  
MANOR, TX 78653-0032

LAS SALSA BAR AND GRILL MEXICAN  
RESTAURANT LLC  
12012 BARKER HILLS DR  
MANOR, TX 78653-4703

2017 MANOR LLC  
12421 GRANTON CV  
AUSTIN, TX 78754-0618

BARBARITA SAMUDIO SANCHEZ  
PO BOX 142  
MANOR, TX 78653-0142

MICHAEL E & TABITHA A DARILEK  
PO BOX 976  
MANOR, TX 78653-0976

VIRGINIA Z CARDENAS  
PO BOX 243  
MANOR, TX 78653-0243

TIMOTHY MACK SHERROD & TAMMELA  
JO LEWRIGHT  
2705 TAFT BLVD  
WICHITA FALLS, TX 76308-1243

ERNESTO SUAREZ  
14121 BOIS D'ARC LN  
MANOR, TX 78653-3815

JAMES T ANDERSON  
1601 W. 38<sup>TH</sup> ST  
SUITE 2  
AUSTIN, TX 78731-6233



## AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 13, 2020

PREPARED BY: Scott Dunlop, Assistant Development Director

DEPARTMENT: Development Services

---

### AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Rezoning Application for Lots 4 and 5, Block 43, Town of Manor, locally known as 101 West Boyce Street from Single Family (SF-1) to Neighborhood Business (NB).

Applicant: Michael Benitez Owner: AZ General Contractors, LLC

---

### BACKGROUND/SUMMARY:

The owner would like to rezone the property due to it's proximity to downtown/commercial uses and it's frontage along Lexington. The property across Lexington is zoned Neighborhood Business.

PRESENTATION: ☐ YES ☐ NO

ATTACHMENTS: ☒ YES (IF YES, LIST IN ORDER TO BE PRESENTED) ☐ NO

Letter of Intent

Rezoning Map

Area Image

NB Zoning uses

---

### STAFF RECOMMENDATION:

It is City staff's recommendation that the Planning and Zoning Commission approve a Rezoning Application for Lots 4 and 5, Block 43, Town of Manor, locally known as 101 West Boyce Street from Single Family (SF-1) to Neighborhood Business (NB).

PLANNING & ZONING COMMISSION: ☐ RECOMMENDED APPROVAL ☐ DISAPPROVAL ☐ NONE



Letter of intent: 101 W. Boyce St  
Rezoning/Variance/Waiver Justification

**Rezoning/Variance/Waiver Justification:**

NOTE: The reviewing entity must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.

**REASONABLE USE:**

1. The zoning regulations applicable to the property do not allow for a reasonable use because:

LOT SIZE (100'x100') being underutilized; in addition to its  
proximity to major downtown street and businesses.

**HARDSHIP:**

2. (a) The hardship for which the variance/waiver is requested is unique to the property in that:

City of Denver is growing and more dense zoning would  
be more beneficial for promoting growth.

- (b) The hardship is not general to the area in which the property is located because:

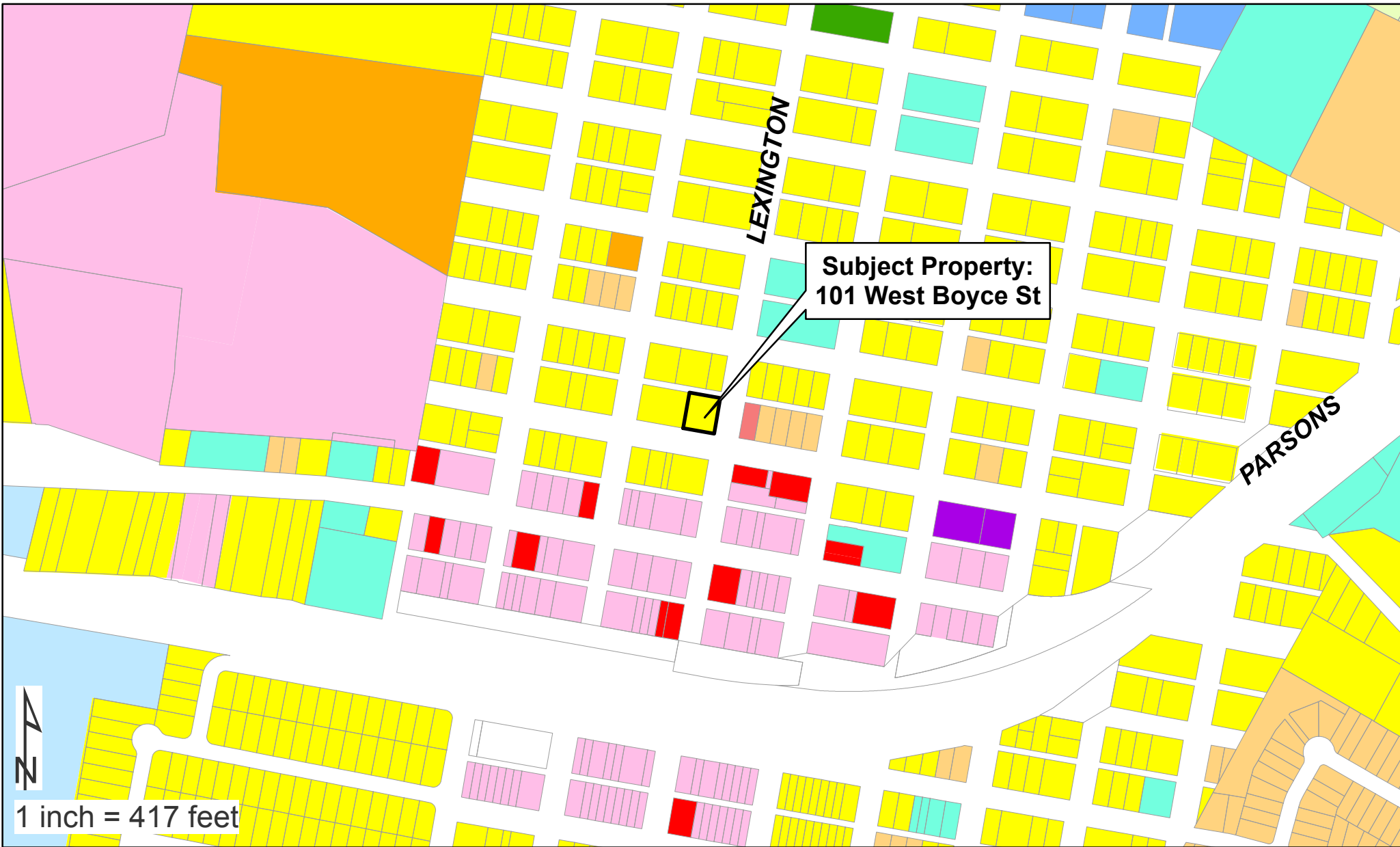
It border high traffic street and neighbors businesses  
@ NB & DB.

**AREA CHARACTER:**

3. The zoning change or variance/waiver will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

Consistent with adjacent properties of similar zoning.

NOTE: The reviewing entity cannot grant a zoning change or variance/waiver that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.



## Proposed Rezoning: Neighborhood Business (NB)

*Current Zoning District:  
Single Family (SF-1)*

### Zone

SF-1 - Single Family	DB - Downtown Business District
SF-2 - Single Family	NB - Neighborhood Business
MF-2 - Multi Family	IN-1 - Light Industrial
MH-1 - Manufactured Housing	IN-2 - Heavy Industrial
MH-2 - Manufactured Housing Park	I - Institutional
C-1 - Light Commercial	PUD - Planned Unit Development
C-2 - Medium Commercial	A - Agricultural
	Manor ETJ







**Section 14.02.017 Non-Residential and Mixed-Use Districts Land Use Table****(a) Residential Land Uses in Non-Residential and Mixed-Use Zoning Districts**

Residential Uses	Zoning Districts										
	OS	I-1	I-2	GO	NB	DB	C-1	C-2	C-3	IN-1	IN-2
Assisted Living		P	P								
Condominium					C	C					
Nursing Home		P	P								
Multi-Family					C	C					

**(b) Non-Residential Uses in Non-Residential and Mixed-Use Zoning Districts**

Non-Residential Uses	Zoning Districts										
	OS	I-1	I-2	GO	NB	DB	C-1	C-2	C-3	IN-1	IN-2
Adult Day Care		P	P					P	P		
Adult-Oriented Businesses									C/S	C/S	
Alcoholic Beverage Establishment					S	P	P	P	P		
Amusement (Indoor)							C	C	C		
Amusement (Outdoor)								C	C		
Antique Shop					P	P	P	P	P		
Art Studio or Gallery		P	P		P	P	P	P	P	P	
Automobile Repair (Major)								C	C	C	C
Automobile Repair (Minor)							C	C	C	C	

Automobile Sales and Rental								C	C		
Automobile Washing								C	C		
Brewery, Micro								P	P	P	P
Brewery, Regional									P	P	P
Brewpub						P	P	P	P		
Business Support Services					P	P	P	P	P		
Campground	S	S	S								
Cemetery	S	P	P								
Child Care Center (Intermediate)		P	P	P	P	P	P	P	P		
Child Care Center (Large)		P	P	P	P	P	P	P	P		
Club or Lodge		P	P	P	P	P	P	P	P		
Commercial Off-Street Parking						C	C	C	C		
Communication Services or Facilities				P			P	P	P	P	
Construction and Equipment Sales (Major)									P	P	
Construction and Equipment Sales (Minor)								P	P	P	
Construction Services								C	C	C	C
Consumer Repair Services					P	P	P	P	P		
Contractor's Shop									C	C	C
Data Center				P					P	P	
Day Camp	S	P	P								



Distillery, Micro								P	P	P	P
Distillery, Regional									P	P	P
Event Center		P	P		C/S	C/S	C/S	P	P		
Financial Services				C	C	C	C	C	C		
Financial Services, Alternative								C	C		
Florist					C	C	C	C	C		
Food Court Establishment								C/S	C/S	C/S	
Food Preparation						C	C	C	C	C	C
Food Sales					C	C	C	C	C		
Funeral Services		C	C		C	C	C	C	C	C	C
Game Room								C/S	C/S	C/S	
Gasoline Station (Full- Service)								C	C		
Gasoline Station (Limited)					C/S		C/S	C	C		
General Retail Sales (Convenience)				P	P	P	P	P	P		
General Retail Sales (General)					P	P	P	P	P		
Golf Course/Country Club	S										
Governmental Facilities	P	P	P	P	P	P	P	P	P	P	P
Hospital Services		P	P	P							
Hotel					C/S	C	C	C	C		
Industrial Use, Light									P	P	
Industrial Use, Heavy											P
Kennel								C	C	C	

[illegible]

Recycling Operation (Outdoor)											C
Religious Assembly	P	P	P	P	P	P	P	P	P	P	P
Research Services (General)				P					P	P	
Research Services (Hazard)											P
Restaurant				P	P	P	P	P	P		
Restaurant – Drive In or Drive Through							C	C	C		
School, Boarding		P	P				P	P	P		
School, Business or Trade		P	P				P	P	P		
School, College or University		P	P					P	P		
School, Private or Parochial		P	P				P	P	P		
School, Public		P	P				P	P	P		
Shooting Range, Indoor									P	P	
Smoke Shop or Tobacco Store								P	P		
Theater							P	P	P		
Transportation Terminal								C	C	C	C
Truck and Trailer Sales and Rental								C	C	C	
Truck Stop									P	P	
Utility Services, Major			C							C	C
Utility Services, Minor	P	P	P	P	P	P	P	P	P	P	P
Vehicle Storage Facility									C	C	
Veterinary Services, Large								C	C		



Veterinary Services, Small					C	C	C	C	C		
Wireless Transmission Facilities (WTF), Attached	C	C	C	C	C/S	C/S	C	C	C	C	C
Wireless Transmission Facilities (WTF) Monopole	C/S	C/S	C/S	C/S			C/S	C/S	C/S	C/S	C/S
Wireless Transmission Facilities (WTF), Stealth	C	C	C	C	C/S	C/S	C	C	C	C	C
Zoo, Private								P	P		

#### Section 14.02.018 Non-Residential and Mixed-Use District Conditions

Non-Residential and Mixed-Use Districts	Conditions
Institutional Small (I-1)	<ul style="list-style-type: none"> <li>Uses be conducted entirely within an enclosed building except for customary outdoor recreational uses and off-site accessory parking.</li> </ul>
Institutional Large (I-2)	<ul style="list-style-type: none"> <li>Uses be conducted entirely within an enclosed building except for customary outdoor recreational uses and off-site accessory parking.</li> </ul>
Light Commercial (C-1)	<ul style="list-style-type: none"> <li>Uses be conducted entirely within an enclosed building except for delivery, gasoline sales, dining and patio areas associated with a restaurant, food and beverage sale use, and mobile food vendors</li> <li>Outdoor displays must be in accordance with Section 14.02.049</li> <li>Merchandise be new, first-hand and sold on premises, except for antique shops.</li> <li>Establishments located on property that is within 300 feet of any property zoned for residential use when the commercial use is first established may not be open to the general public before 5:00 a.m. and must be closed to</li> </ul>



## AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 13, 2020

PREPARED BY: Scott Dunlop, Assistant Development Director

DEPARTMENT: Development Services

---

### AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Coordinated Sign Plan for 13903 US Hwy 290 East. Applicant: U.S. Signs. Owner: Texas State Rentals.

---

### BACKGROUND/SUMMARY:

Our sign code requires when an enterprise occupies two or more buildings they have to have a coordinated sign plan. The applicant has applied to have one 200 SF sign on the building facing 290. Under the sign plan this would be the only commercial sign allowed on the property. Staff's only comment to the applicant was the white background be opaque since it is internally illuminated and that would comply with our outdoor lighting standards. At the time of posting, the applicant had not re-submitted the plans but had indicated the sign would no longer be illuminated. Staff further provided that if the sign is externally illuminated it be from fully-shielded fixtures placed above the sign (as opposed to floodlights illuminating the side of building and sign). If an updated plan is submitted it will be provided at the meeting.

PRESENTATION: ☐ YES ☐ NO

ATTACHMENTS: ☐ YES (IF YES, LIST IN ORDER TO BE PRESENTED) ☐ NO

Sign Plan

---

### STAFF RECOMMENDATION:

It is City staff's recommendation that the Planning and Zoning Commission approve a Coordinated Sign Plan for 13903 US Hwy 290 East with the requirement either the sign not be illuminated, or if internally illuminated that white/light colored backgrounds be opaque, or if externally illuminated that lights be fully-shielded and placed above the sign.

PLANNING & ZONING COMMISSION: ☐ RECOMMENDED APPROVAL ☐ DISAPPROVAL ☐ NONE





Install existing 8'x25' single faced  
LED sign cabinet to side building  
elevation

8"



**Texas  
State  
Rentals**  
**844-TEX-RENT**

25'



State License TSCL 18159  
Regulatory: The Texas State Sign Association, 100 East 12th Street, Suite 100, Austin, TX 78701

258 TRADE CENTER DRIVE  
NEW BRAUNFELS, TEXAS 78130  
830.629.4411 FAX 830.629.8099  
ussigns@sbcglobal.net • www.ussignsb.com



Client **Texas State Rentals**  
**844-TEX-RENT**

13903 Hwy 290 Manor

Approval

Date

All drawings submitted are property of U.S. Signs until purchased by The Client. No alterations or distributions can be made without written consent from U.S. Signs

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE. THIS SIGN IS NOT TO BE USED FOR ANY OTHER PURPOSES. THE SIGN IS TO BE MAINTAINED IN GOOD ORDER AND PROPER GROUNDING AND BONDING OF THE SIGN.





## AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 13, 2020

PREPARED BY: Scott Dunlop, Assistant Development Director

DEPARTMENT: Development Services

---

### AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Coordinated Sign Plan for Manor Commons East. Applicant: Facility Solutions Group Owner: Greenview Development 973, LP.

---

### BACKGROUND/SUMMARY:

This is a CSP for most of the tracts in Manor Commons East, which is the development on the eastside of 973 between 290 and Old 20. The sign plan has matching designs to the signs in the portions of Manor Commons west of 973 (Multi-tenant pylon, Panda, Wendy's, Advance, Whataburger). Staff provided comments to the applicant but at the time of posting they had not resubmitted to those comments but indicated they would make the requested changes. An updated sign plan will be provided at the meeting if available. For the comments: a pylon will be added to lot 1A, the lots not included will be noted on the plans, landscaping will be added to the base of pylon signs, white/light colored backgrounds will not be illuminated, pylons will have minimum spacing, and on-site directional signage (pad site enter/exit signs) requirements will be added.

PRESENTATION: ☐ YES ☐ NO

ATTACHMENTS: ☐ YES (IF YES, LIST IN ORDER TO BE PRESENTED) ☐ NO

Plan

Review Comments

---

### STAFF RECOMMENDATION:

It is City staff's recommendation that the Planning and Zoning Commission approve a Coordinated Sign Plan for Manor Commons East with staff requested changes.

PLANNING & ZONING COMMISSION: ☐ RECOMMENDED APPROVAL ☐ DISAPPROVAL ☐ NONE

# MANOR COMMONS

Highway 290 Manor, TX

COMPREHENSIVE SIGN PLAN - Phase II  
November 27, 2019

10212 METRIC BLVD  
AUSTIN, TX 78758

BOB STROBECK  
PH: 512.494.0002 X19141  
CELL: 512.940.5725  
BOB.STROBECK@FSGI.COM



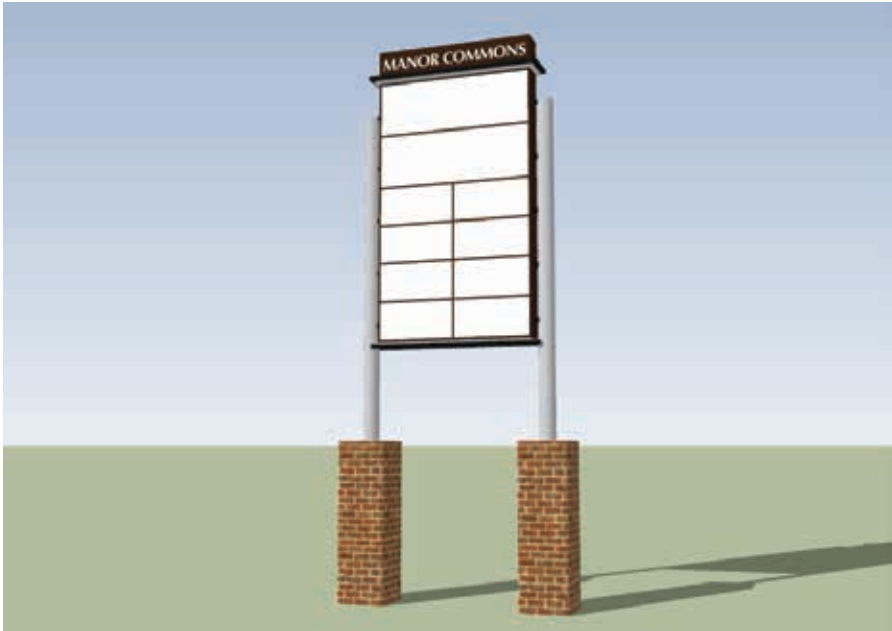
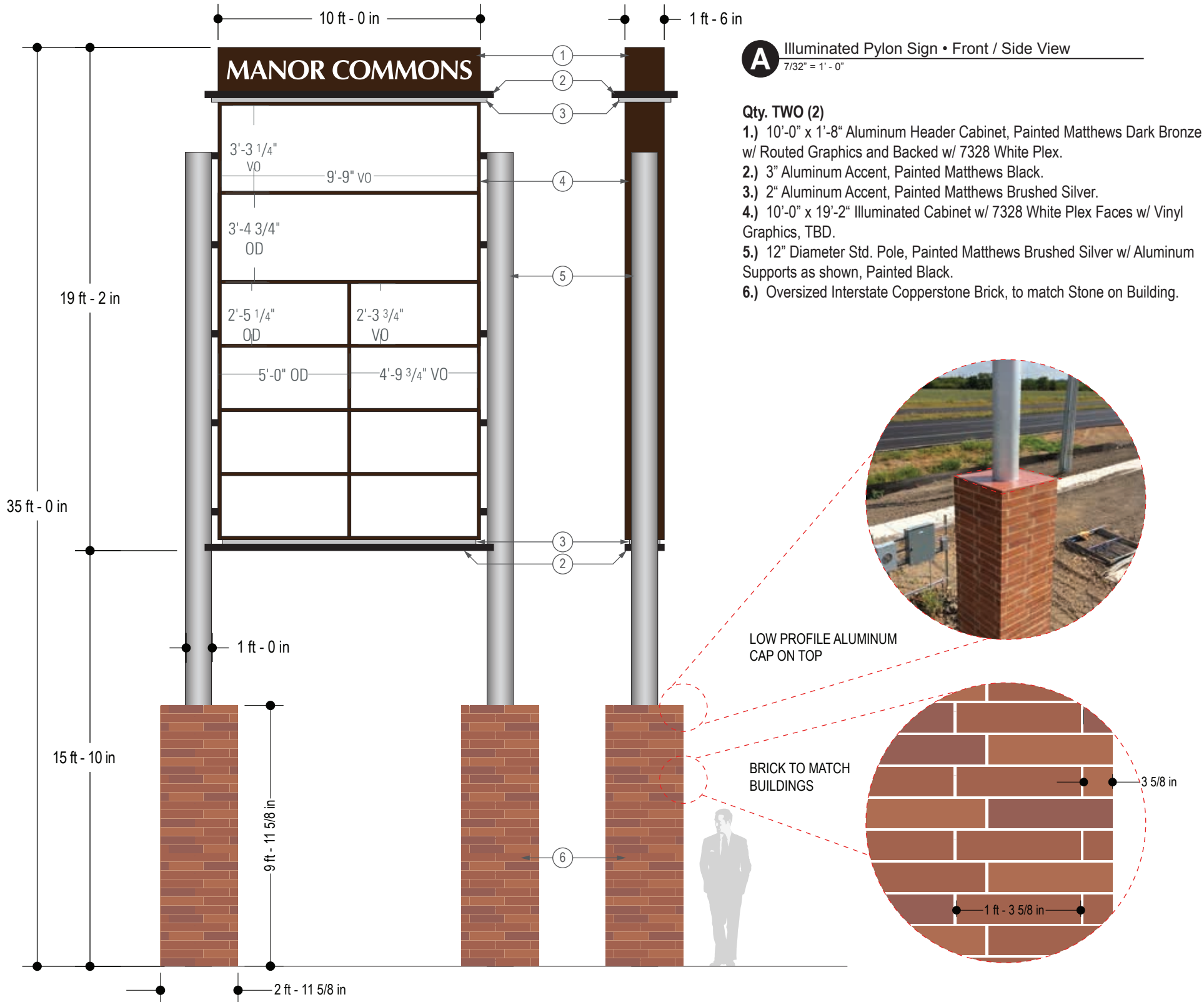
> lighting  
> electrical  
> energy  
> technology  
> signs

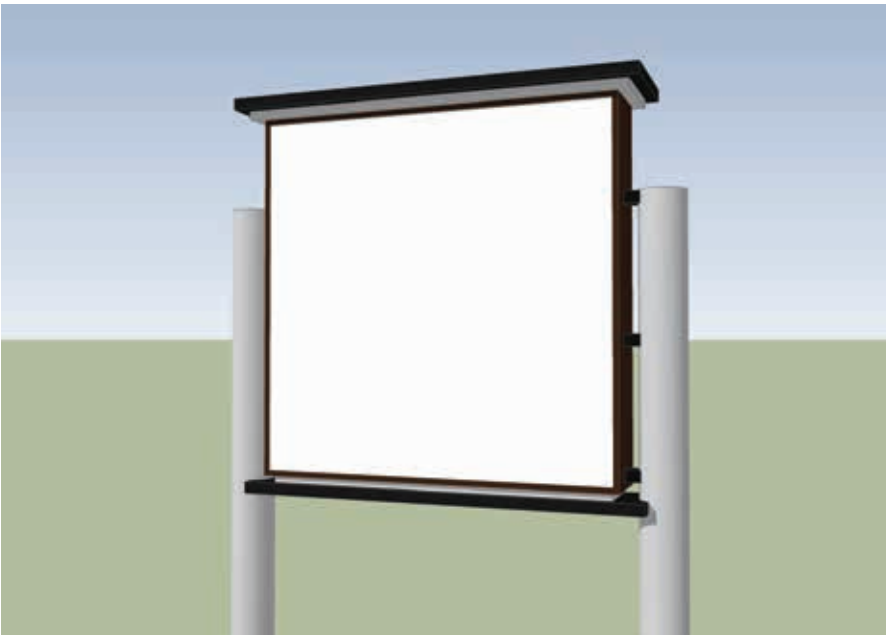
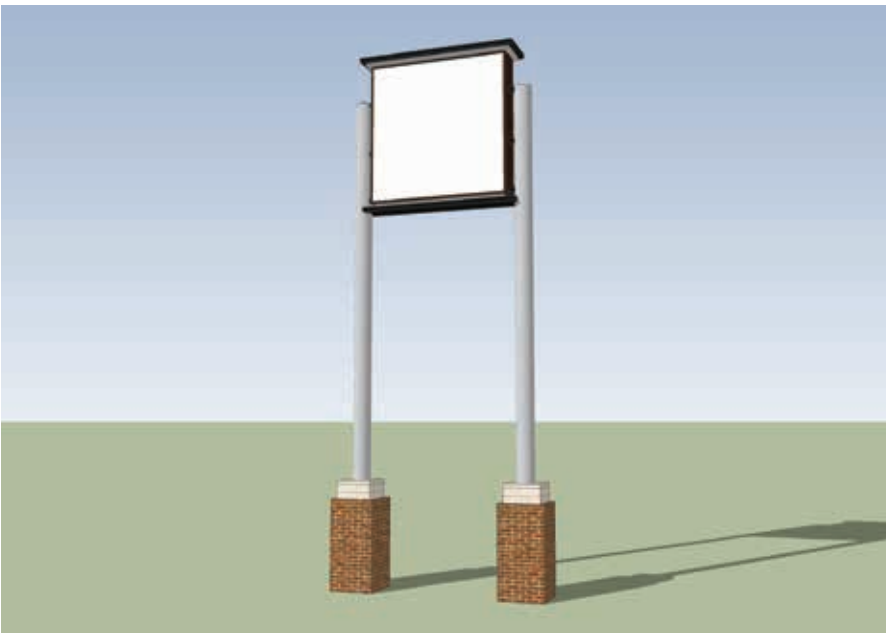
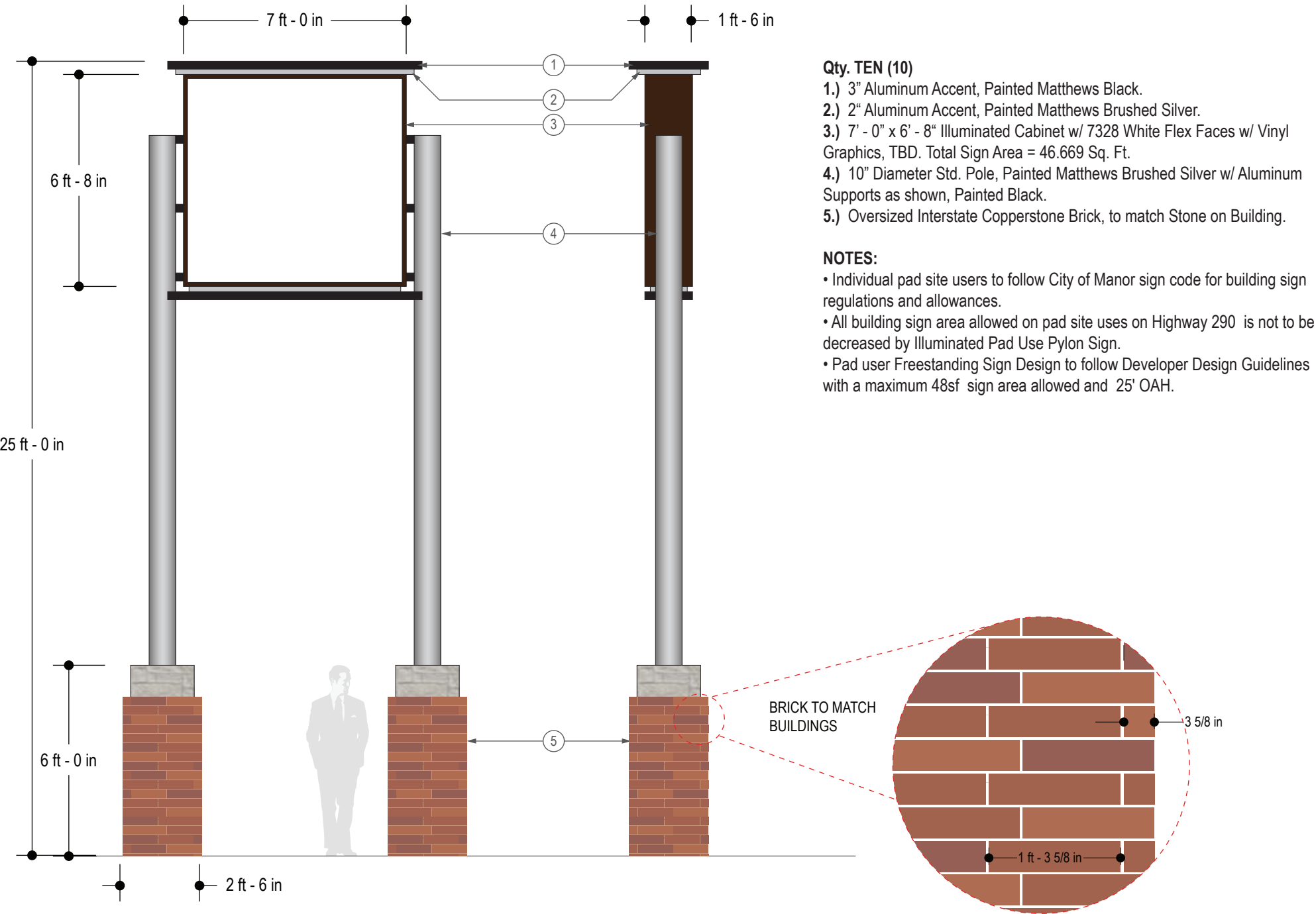
FACILITY SOLUTIONS GROUP

# TABLE OF CONTENTS

SIGN TYPE	Page
ST A - Main Pylon	1 (A.100)
ST C - Tenant Pylon	2 (C.100)
ST E - Directional	3 (E.100)
SIGN LOCATION PLAN	4 (SLP.100)
SIGN CRITERIA	5

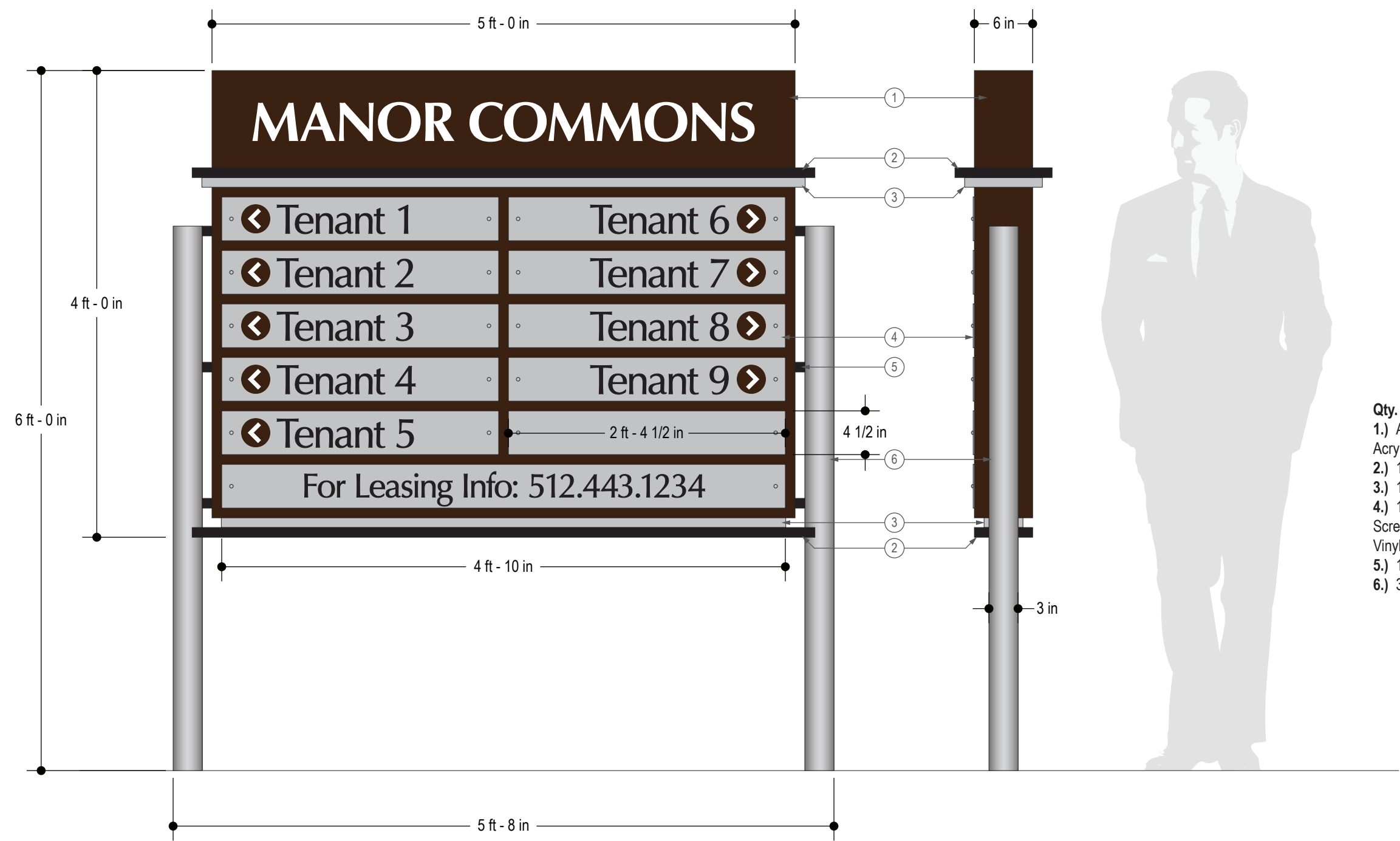






**C** Illuminated Pylon Sign • Front / Side View  
1/4" = 1' - 0"

Manor Commons corner 973 and Old Hwy 290	Start Date: 9.16.19 Last Revision: 11.27.19 Job#92J10599 Dwg. #92J10599CV2S1	Design Rep. Ky Williams / Al Morales (Rev.) Sales: Bob Strobeck	CLIENT APPROVAL APPROVAL: I have reviewed and approved the sign details on this drawing for fabrication and installation.  [IF REQUIRED:] LANDLORD APPROVAL APPROVAL: I have reviewed and approved the sign details on this drawing for fabrication and installation.	MEMBER INTERNATIONAL SIGN ASSOCIATION © COPYRIGHT 2018 / ALL RIGHTS RESERVED	UL LISTED UL INSTALLATION REQUIREMENTS: THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.
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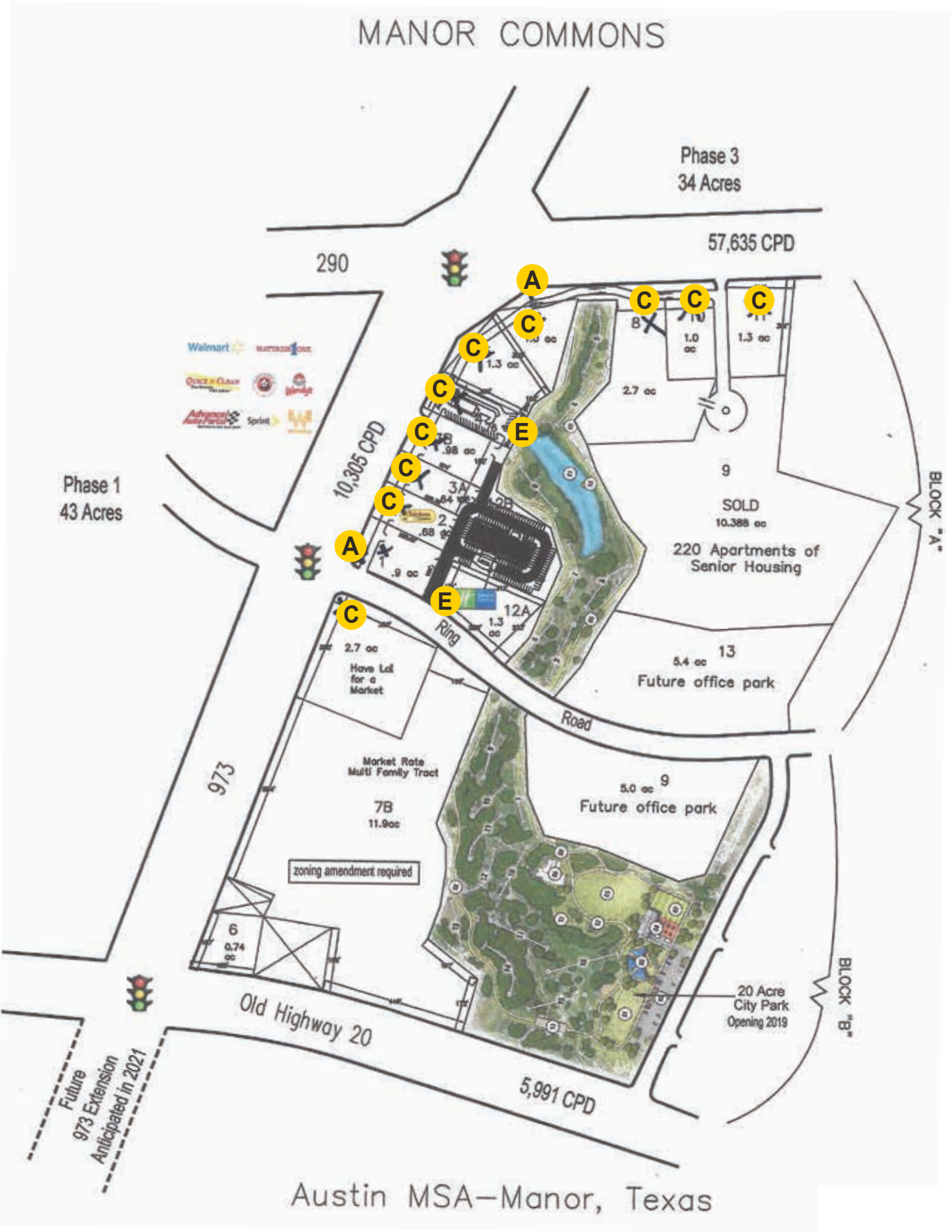
- Qty. TW0 (2)
- 1.) Aluminum Header Cabinet, Painted Matthews Dark Bronze w/ 1/4" White Acrylic Letters.
  - 2.) 1" Aluminum Accent, Painted Matthews Black.
  - 3.) 1" Aluminum Accent, Painted Matthews Brushed Silver.
  - 4.) 1/8" Aluminum Panel, Painted Matthews Brushed Silver, w/ Counter-Sunk Screws, 7725-12 Black, 7725-19 Deep Mahogany Brown & 7725-10 White Vinyl Graphics. Names and Directional Info TBD.
  - 5.) 1" Aluminum Cabinet Supports, Painted Black.
  - 6.) 3" Round Support Pipes.

**E** Single-Sided, Non-Illuminated Directional Sign • Front / Side View  
1" = 1' - 0"

Manor Commons corner 973 and Old Hwy 290	Start Date: 9.16.19 Last Revision: Job#92J10599 Dwg. #92J10599EV1S1	Design Rep. Ky Williams / Al Morales (Rev.) Sales: Bob Strobeck	CLIENT APPROVAL APPROVAL: I have reviewed and approved the sign details on this drawing for fabrication and installation.  [IF REQUIRED:] LANDLORD APPROVAL APPROVAL: I have reviewed and approved the sign details on this drawing for fabrication and installation.	<div>MEMBER INTERNATIONAL SIGN ASSOCIATION</div> <div>UL LISTED</div> <div>© COPYRIGHT 2018 / ALL RIGHTS RESERVED</div> <div>UL INSTALLATION REQUIREMENTS: THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.</div>
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- A** ILLUMINATED PYLON SIGN Qty TWO (2)
- C** TENANT PYLON Qty TEN (10)
- E** DIRECTIONAL Qty TWO (2)



Manor Commons corner 973 and Old Hwy 290	Start Date: 9.16.19 Last Revision: 11.27.19 Job#92J10599 Dwg. #92J10599SLP1S1	Design Rep. Ky Williams / Al Morales (Rev.) Sales: Bob Strobeck
---	--	--

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**City of Manor**  
**105 E. Eggleston St.**  
**Manor, TX 78653**  
**(512) 272-5555**

Date: Monday, March 30, 2020

Amy Cavaliere  
Facility Solutions Group - Signs  
10212 Metric Blvd  
Austin TX 78758  
signpermits@fsgj.com

Permit Number 2020-4778  
Job Address: N FM RD 973, Manor 78653

Dear Amy Cavaliere,

Staff has completed its review of plans for the Manor Commons East Coordinated Sign Plan that is to be located at N FM RD 973, Manor 78653. Comments from this review follow.

#### **City Planner Review**

The following comments have been provided by Scott Dunlop. Should you have any questions or require additional information regarding any of these comments, please contact Scott Dunlop by telephone at (512) 272-5555 or by email at sdunlop@cityofmanor.org.

- **No pylon on lot 1A, was that intentional?**
- **Does 12A, 12B, multi-family or office need signs? If not, a note should be added listing the excluded lots in the Manor Commons East PUD that will follow city codes.**
- **Add requirement for base landscaping - Code requires 120 SF of landscaped area around a sign base.**
- **No white or light colored backgrounds that are internally illuminated can be lit. White/light backgrounds need to be opaque - refer to section 3.11.008(p) of the Code**
- **Pylon signs should have minimum spacing distances such as 125'-150' spacing and/or centered on lots**
- **Add on-site tenant specific directional signage from code - refer to section 3.10.009(4)**

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (512) 272-5555, or by e-mail at sdunlop@cityofmanor.org.

Thank you,

3/30/2020 2:40:43 PM  
Manor Commons East Coordinated Sign Plan  
2020-4778  
Page 2

Scott Dunlop  
Development Services





## AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 13, 2020

PREPARED BY: Scott Dunlop, Assistant Development Director

DEPARTMENT: Development Services

---

### AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Setback Waiver for Lot 9, Block 7, Town of Manor, locally known as 207 West Brenham Street to reduce the side setbacks to 5 feet, the rear setback to 10 feet, and the front setback to 20 feet. Applicant: Ruben Coronado Owner: Ruben Coronado

---

### BACKGROUND/SUMMARY:

Our zoning ordinance allows residential properties platted prior to 1980 to reduce their setbacks to accommodate structures built under the current guidelines on lots that do not meet current standards. Side setbacks, excluding streetside setbacks, can be reduced to from 7.5' to 5, rear setbacks from 25' to 10' and front setbacks from 25' to 20'.

PRESENTATION: ☐ YES ☐ NO

ATTACHMENTS: ☒ YES (IF YES, LIST IN ORDER TO BE PRESENTED) ☐ NO

Setback waiver

Area image

---

### STAFF RECOMMENDATION:

It is City staff's recommendation that the Planning and Zoning Commission approve a Setback Waiver for Lot 9, Block 7, Town of Manor, locally known as 207 West Brenham Street to reduce the side setbacks to 5 feet, the rear setback to 10 feet, and the front setback to 20 feet.

PLANNING & ZONING COMMISSION: ☐ RECOMMENDED APPROVAL ☐ DISAPPROVAL ☐ NONE

## Setback Waiver Request



### SETBACK WAIVER REQUEST

On approval by the Planning Commission, lots platted prior to 1980 having approximately 5,750 square feet of lot area may request approval of reduced setbacks from one or more of the setback requirements for the zoning district. The Commission shall consider the adjoining lot uses to determine whether reduction of the setback requirements is appropriate. Upon approval of building plans, the setbacks may be not less than 5 foot side yard, 10 foot rear yard and 15 foot street side yard setback and 20 foot front yard setback. Lots owned by the same person may be combined into one building site.

*City of Manor Code of Ordinance, Chapter 14, Article 14.02, Division I, Section 14.02.007(c)(3).*

#### Applicant Contact Information

Name: Ruben Coronado  
Address: 209 Maldonado Trail, Del Valle, Tx 78617  
Phone Number: 512.563.7505 Email: rubencoronado72@yahoo.com

#### Property Information

Address: 207 W. Brenham St.  
Lot: 9 Block: 7  
Zoning District: SF-1 single family  
Requested Front Setback: 20'  
Requested Rear Setback: 10'  
Requested Side Setback: from 7 1/2 feet to 5 feet side set back

Ruben Coronado  
Applicant Signature  
Ruben Coronado

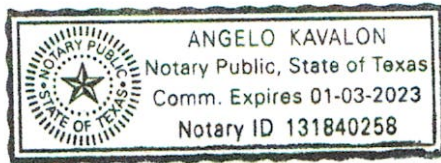
4/29/2020  
Date

Setback Waiver Request

STATE OF TEXAS                    §  
COUNTY OF Travis                    §

**BEFORE ME** the undersigned authority on this day personally appeared Ruben Coronado  
Owner of the Property, and acknowledged that s/he is fully authorized to execute the foregoing  
document and that s/he executed such document for the purposes and consideration therein expressed  
and in the capacity therein stated.

**GIVEN UNDER MY HAND AND SEAL OF OFFICE** on this the 6 day of  
May, 2020.



[Signature]  
Notary Public - State of Texas

**PASSED AND APPROVED** on this the \_\_\_\_ day of \_\_\_\_\_ 2020.

**THE CITY OF MANOR, TEXAS**

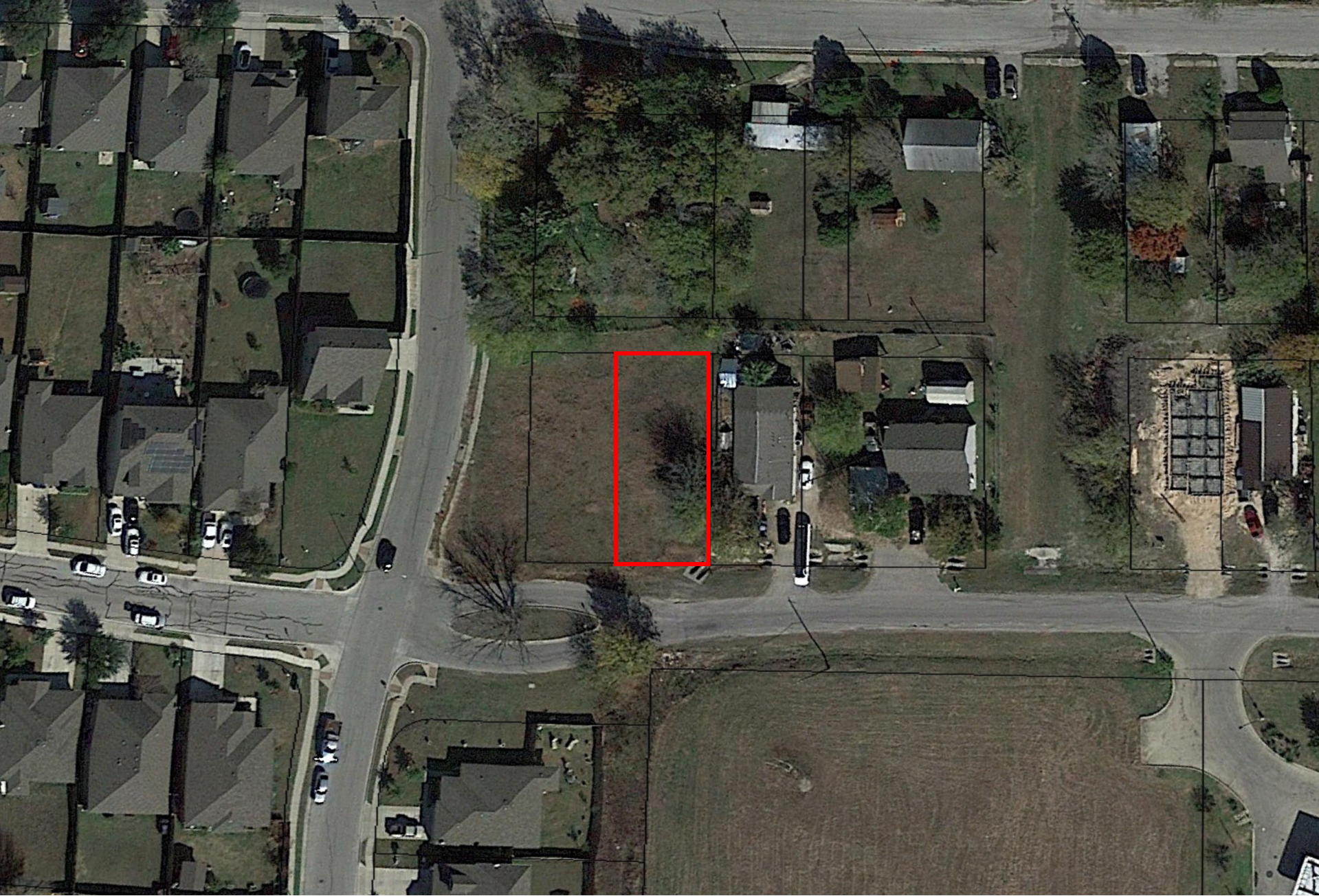
\_\_\_\_\_  
Philip Tryon,  
Chairperson

**ATTEST:**

\_\_\_\_\_  
Scott Dunlop  
Assistant Development Director

After recording return to:  
Development Services Dept.  
City of Manor  
105 East Eggleston St.  
Manor, TX 78653









## AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 13, 2020

PREPARED BY: Scott Dunlop, Assistant Development Director

DEPARTMENT: Development Services

---

### AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Joined Lot Affidavit for Lot 1 and Lot 2, Block 25, Town of Manor, locally known as 104 South Bastrop Street, Manor, TX. Applicant: Village Homes, LTD. Owner: Patrick Sneed

---

### BACKGROUND/SUMMARY:

These properties are under common ownership and have 1 manufactured home that is situated on both. The owner has applied to replace the older home with a new one, but the lots need to be combined into one for the purposed of building so the new structure can comply with setback requirements.

PRESENTATION: ☐ YES ☐ NO

ATTACHMENTS: ☒ YES (IF YES, LIST IN ORDER TO BE PRESENTED) ☐ NO

Joined Lot Affidavit

Deed

---

### STAFF RECOMMENDATION:

It is City staff's recommendation that the Planning and Zoning Commission approve a Joined Lot Affidavit for Lot 1 and Lot 2, Block 25, Town of Manor, locally known as 104 South Bastrop Street, Manor, TX.

PLANNING & ZONING COMMISSION: ☐ RECOMMENDED APPROVAL ☐ DISAPPROVAL ☐ NONE

Affidavit of Patrick Speed  
In Support of Joining Lots into One Building Site

Patrick Speed **BEFORE ME**, the undersigned authority, on this day personally appeared \_\_\_\_\_, who being duly sworn by me did on their oath, depose and say that:

My name is Patrick Speed, I am of sound mind, over eighteen (18) years of age and am competent to make this affidavit. I am personally acquainted with the facts herein stated and such facts are, within my personal knowledge, true and correct.

I am the owner of the following described lots (herein the "lots"):

Tract 1: Lot 1, Block 25, Town of Manor, Manor, Travis County, Texas


Tract 2: Lot 2, Block 25, Town of Manor, Manor, Travis County, Texas

For and in consideration of the approval to utilize the Lots as one building site, I bind the lots to this covenant which shall run with the land until released by compliance with the City's regulations for separating the Lots or re-platting of the Lots in compliance with all applicable ordinances. This shall be and hereby is deemed a covenant running with the land enforceable by the City of Manor and to be released only by the City of Manor upon demonstration of compliance with all applicable ordinances of the City.

The City of Manor Planning and Zoning Commission on the \_\_\_\_\_ day of \_\_\_\_\_, 202\_, under the authority of the City Zoning Ordinance, Article 14.02 Division II, Section 14.02.007(c)(3), approved the request to recognize the above referenced Lots, platted prior to 1980, as one unit to be utilized as one building site and to be treated as one lot without the necessity of re-platting said Lots. The right to build across the boundaries separating the Lots and to treat the Lots as one building site has been granted. Any structure crossing the lot lines or encroaching in the setback between the Lots described herein will not be in compliance with the City of Manor ordinances without this approval.

The permission to utilize the Lots as one building site is conditioned on the owner and subsequent purchasers and homeowners conveying and utilizing the Lots as one building site until the Lots are re-platted in compliance with the City ordinances and the Texas Local Government Code. The owner, and all successors, assigns, executors and heirs are bound to convey and occupy the Lots as one Lot and one building site until any structures crossing or encroaching in the setback are removed from the Lots and brought into compliance with City ordinances and/or re-platted in compliance therewith and the City approves such compliance by releasing the covenant.

Failure to re-plat or remove any buildings crossing the lot lines and receive a release from this obligation shall be binding upon all purchasers and tenants for which the City of Manor may enforce such compliance. This agreement shall be filed among the official property records of Travis County to serve as notice to all subsequent purchasers of all or a portion of the Lots.

  
\_\_\_\_\_



Owner

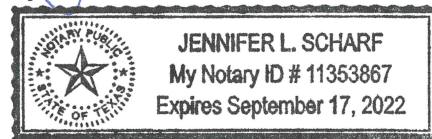
STATE OF TEXAS §

COUNTY OF Caldwell §

Patrick Sheed BEFORE ME the undersigned authority on this day personally appeared \_\_\_\_\_, Owner of the Property, and acknowledged that s/he is fully authorized to execute the foregoing document and that s/he executed such document for the purposes and consideration therein expressed and in the capacity therein stated.

May GIVEN UNDER MY HAND AND SEAL OF OFFICE on this the 5th day of \_\_\_\_\_, 2020.

Jennifer L. Scharf  
Notary Public - State of Texas



APPROVED AND AGREED:

\_\_\_\_\_  
Planning and Zoning Chairperson, City of Manor

After recording return to:

City of Manor  
City Secretary  
P.O. Box 387  
Manor, TX 78653

From: Ray Accord ray@villagehomesaustin.com  
Subject: Sneed land  
Date: March 19, 2020 at 4:59 PM  
To: Dwight Hamilton dwight@villagehomesaustin.com

Begin forwarded message:

From: Copier Austex-Villag <copier@villagehomesaustin.com>  
Date: March 19, 2020 at 4:57:53 PM CDT  
To: ray@villagehomesaustin.com  
Subject: Village Homes Sent you a Scan...  
Reply-To: <copier@villagehomesaustin.com>



8 pgs

2019182822

**NOTICE OF CONFIDENTIALITY RIGHTS**

IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

**NOTICE TO FUTURE CREDITORS:**

THIS DEED OF TRUST CONTAINS PROHIBITIONS AGAINST THE ASSIGNMENT OR TRANSFER OF ANY TAX LIEN. ANY PARTY EXCEPT A TAXING AUTHORITY CLAIMING ANY RIGHTS UNDER A TAX LIEN ARE EXPRESSLY SUBORDINATE TO THE LIENS HEREIN

**DEED OF TRUST**

DATE: November 16, 2019

GRANTOR: PATRICK L. SNEED AND TEGWEN H. SNEED  
ADDRESS: 104 B SOUTH BASTROP STREET  
MANOR TEXAS 78653  
TRAVIS COUNTY

TRUSTEE: Dwight Hamilton  
P.O. BOX 17547  
Austin, TX 78760

BENEFICIARY: AUS-TEX PARTS AND SERVICE, LTD.  
P.O. BOX 17547  
Austin, TX 78760

**NOTE(S)**

DATE: NOVEMBER 16, 2019  
AMOUNT: (\$97,882.43)  
MAKER: PATRICK L. SNEED AND TEGWEN H. SNEED  
PAYEE: AUS-TEX PARTS AND SERVICE, LTD.  
MATURITY DATE: Six Months

PROPERTY (INCLUDING ANY IMPROVEMENTS):

Lot Nos One (10) and Two (2), Block No. 25, Town of Manor, a subdivision in Travis COUNTY, TEAS ACCORDING TO THE MAP OR PLAT OF RECORD IN VOLUME V, PAGE 796, DEED OR PLAT RECORDS OF TRAVIS COUNTY, TEXAS TOGETHER WITH ANY AND ALL IMPROVEMENTS CONSTRUCTED UPON, AFFIXED TO OR LOCATED UPON THE ABOVE DESCRIBED PROPERTY, INCLUDING WITHOUT LIMITATION ANY RESIDENTIAL DWELLING LOCATED UPON THE REAL PROPERTY, WHICH DWELLING IS A MANUFACTURED HOME.

For value received and to secure payment of the note, Grantor conveys the property to Trustee in trust. Grantor warrants and agrees to defend the title to the Property. If Grantor performs all the covenants and pays the note according to its terms, this deed of trust shall have no further effect, and Beneficiary shall release it at Grantor's expense.





## AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 13, 2020

PREPARED BY: Scott Dunlop, Assistant Development Director

DEPARTMENT: Development Services

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### AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Concept Plan for the Las Entradas Subdivision, one (1) lot on 9.973 acres more or less, located near US Hwy 290 E and Gregg Manor Road, Manor, TX. Applicant: Carlson, Brigrance, & Doering, Inc. Owner: Manor Apartments, LLC

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### BACKGROUND/SUMMARY:

This concept plan was filed to start the platting process for a proposed multi-family project. The plan has not been approved by our engineer.

PRESENTATION: ☐ YES ☐ NO

ATTACHMENTS: ☐ YES (IF YES, LIST IN ORDER TO BE PRESENTED) ☐ NO

Letter of Intent

Plat

Engineer Comments

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### STAFF RECOMMENDATION:

It is City staff's recommendation that the Planning and Zoning Commission deny per engineer comments a Concept Plan for the Las Entradas Subdivision, one (1) lot on 9.973 acres more or less, located near US Hwy 290 E and Gregg Manor Road, Manor, TX.

PLANNING & ZONING COMMISSION: ☐ RECOMMENDED APPROVAL ☐ DISAPPROVAL ☐ NONE



**Carlson, Brigrance & Doering, Inc.**  
Civil Engineering ♦ Surveying

---

March 26, 2020

City of Manor  
Development Services Department  
Attn: Mr. Scott Dunlop  
105 E. Eggleston Street  
Manor, Texas 78653

**RE: Las Entrada**  
**CBD Job # 5163**

**Concept Plan Cover Letter**

Dear Mr. Dunlop,

On behalf of our client, Manor Apartments, LLC, Carlson, Brigrance & Doering, Inc. respectfully submits this application for Concept Plan to the City of Manor. This submittal is being made outside of the current established review time frame as defined in the approved Development Agreement between Manor Apartments, LLC and the City of Manor.

The attached concept plan is located on approximately 9.973 acres of land in the city limits of the City of Manor approximately 260' south of the intersection terminus of Gregg Manor Road and Tur Weg Lane. The site is zoned R-3 (Multifamily) and the proposed land use will be a multi-family apartment project containing 6 buildings totaling 246 units (24.67 UPA), a clubhouse, amenity area and associate parking spaces/garage infrastructure.

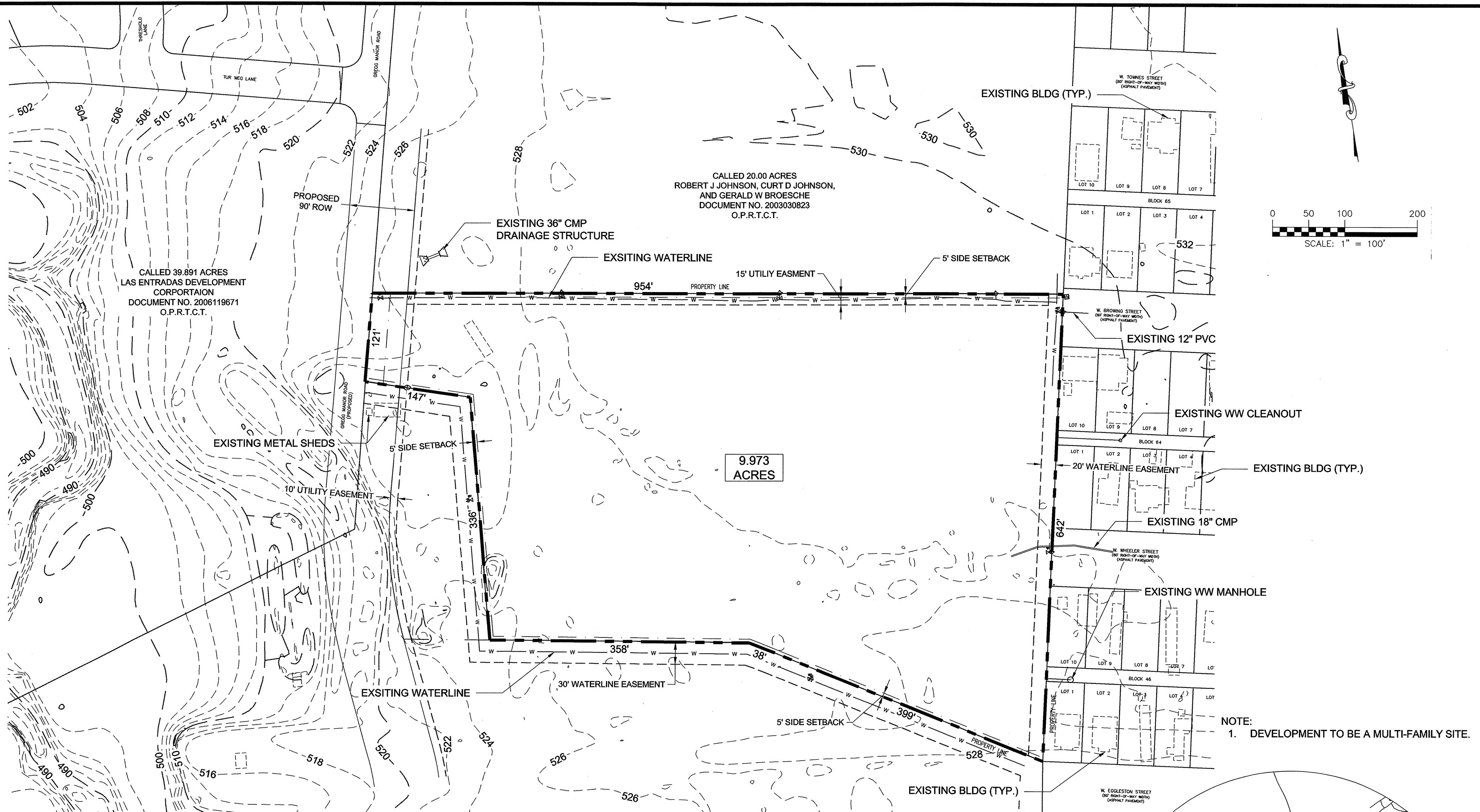
Water and wastewater utilities will be provided by the City of Manor. The Wastewater line will be oversized as per the approved development agreement. Access to the site will necessitate the extension of Gregg Manor Road a total of approximately 350'.

Thank you for your time and review of this project. Please let me know if you need any additional information in order to process this update.

Respectfully,  
**Carlson, Brigrance & Doering, Inc.**

Geoff Guerrero  
Director of Planning

FILE PATH: \\A03D\\5163\\Misc. dwg\\5163-CONCEPT PLAN.dwg - May 04, 2020 - 10:19am



DATA							
3 STORY							
# OF UNITS	UNIT TYPE	# BD/BA	UNIT SF	RENTABLE AREA	% OF AREA	% OF AREA BY TYPE	LUE PER UNIT TYPE
34	A UNITS	1BD/1BA	710 SF	24,140 SF	13.82%	41.46%	0.5
68	As UNITS	1BD/1BA	710 SF	48,280 SF	27.64%		
24	B UNITS	1BD/1BA	805 SF	19,320 SF	9.76%	29.27%	0.5
48	Bs UNITS	1BD/1BA	805 SF	38,640 SF	19.51%		
60	C UNITS	2BD/2BA	1,086 SF	65,160 SF	24.39%	29.27%	0.5
12	Co UNITS	2BD/2BA	1,086 SF	13,032 SF	4.88%		
246 UNITS	TOTAL NET RENTABLE AREA:			208,572 SF	100.00%		

AVERAGE SQUARE FOOTAGE:		848 SQ.FT.	BUILDING COVER	
			BUILDING: 99,688	
LAND:	9.973 ACRES	434,438 SF	GARAGE: 8,783	
DENSITY:	24.67 UNITS/ACRE		ESL SIDEWALK/POOL DECK: 25,000	
LAND-ROW:	9.834 ACRES	428,360 SF	DRIVES: 153,176	
DENSITY:	25.02 UNITS/ACRE		TOTAL 66% 286,647	

VEHICULAR TRIPS ASSOCIATED WITH APARTMENT COMPLEX								
LAND USE	UNITS	DAILY TRIPS (VPD)	AM PEAK HOUR TRIPS (VPH)			PM PEAK HOUR TRIPS (VPH)		
			ENTERING	EXITING	TOTAL	ENTERING	EXITING	TOTAL
MULTIFAMILY HOUSING (LOW-RISE)	246 DWELLING UNIT	1801	26	87	113	87	51	138

CALLLED 20.00 ACRES  
ROBERT J JOHNSON, CURT D JOHNSON,  
AND GERALD W BROESCHE  
DOCUMENT NO. 2003030823  
O.P.R.T.C.T.

9.973  
ACRES

CALLLED 105.170 ACRES  
LAS ENTRADAS DEVELOPMENT  
CORPORATION  
DOCUMENT NO. 2007002485  
O.P.R.T.C.T.

#### CITY OF MANOR ACKNOWLEDGEMENTS

THIS CONCEPT PLAN HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MANOR, TEXAS, AND IS HEREBY RECOMMENDED FOR APPROVAL BY THE CITY COUNCIL ON THIS THE \_\_ DAY OF \_\_\_\_, 20\_\_ A.D.

APPROVED:

ATTEST:

CHAIRPERSON

CITY SECRETARY

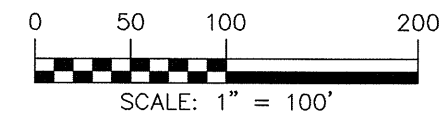
ACCEPTED AND APPROVED FOR RECORD BY THE CITY COUNCIL, CITY OF MANOR, TEXAS ON THIS THE \_\_ DAY OF \_\_\_\_, 20\_\_ A.D.

BY:

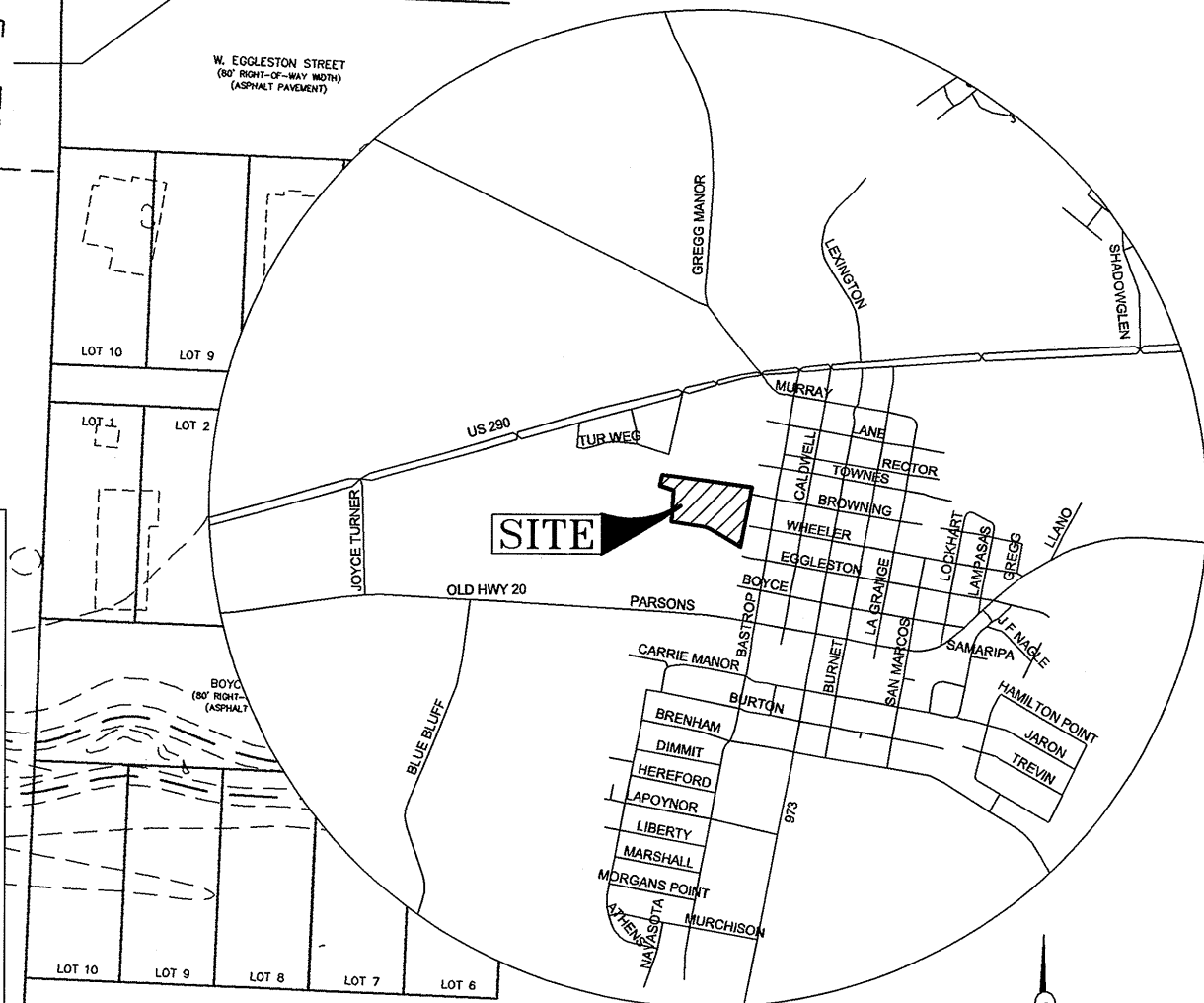
ATTEST:

MAYOR OF THE CITY OF  
MANOR, TEXAS

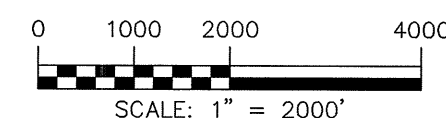
CITY SECRETARY



NOTE:  
1. DEVELOPMENT TO BE A MULTI-FAMILY SITE.



#### LOCATION MAP

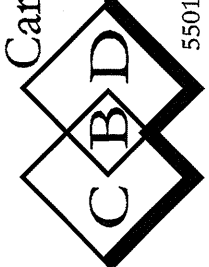


DESIGNED  
BY:  
BRK

DRAFTED  
BY:  
ASL

Carlson, Brigrance & Doering, Inc.

Civil Engineering ♦ Surveying



FIRM ID #F3791

North Office  
12129 RR 620 N., Ste. 600  
Austin, Texas 78750  
www.cbding.com

Main Office  
5501 West William Cannon Dr.  
Austin, Texas 78749  
Phone No. (512) 280-5160

CONCEPT PLAN

LAS ENTRADAS

STREET, DRAINAGE, WATER, &  
WASTEWATER IMPROVEMENTS

SHEET NAME:

JOB NAME:

PROJECT:



CARLSON, BRIGRANCE & DOERING, INC.  
ID# F3791

5-4-2020

DATE

MAY 2020

JOB NUMBER

5163

SHEET

1 OF 1



**JAY ENGINEERING COMPANY, INC.**

*P.O. Box 1220 (512) 259-3882  
Leander, TX 78646 Fax 259-8016  
Texas Registered Engineering Firm F-4780*

Date: Monday, April 27, 2020

Geoff Guerrero  
Carlson, Brigrance & Doering, Inc.  
5501 West William Cannon  
Austin TX 78749  
geoff@cbdeng.com

Permit Number 2020-P-1243-CP  
Job Address: The Emerald MF - Las Entradas - Concept Plan, Manor, TX. 78653

Dear Geoff Guerrero,

The first submittal of the The Emerald MF - Las Entradas - Concept Plan (*Concept Plan*) submitted by Carlson, Brigrance & Doering, Inc. and received on March 30, 2020, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B.

**Engineer Review**

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

1. The Cover Sheet should be removed from the submittal.
2. The required signature blocks should be added to Concept Plan. A copy will be provided.
3. The site layout should be removed from the Concept Plan as it is not required.
4. The location map should remain on the Concept Plan (no Cover Sheet).
5. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 21(c)(8) the Concept Plan should include:

Proposed number of residential and non-residential lots, tracts or parcels of together with the estimated:

- (i) number of LUEs required for each category of lots;
- (ii) traffic volume to be generated by all proposed development other than single family residential.

6. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 21(c)(9) the Concept Plan should include proposed and existing arterial and collector streets to serve the general area.

7. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 21(c)(11) the Concept Plan should include significant drainage features and structures.

8. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 21(c)(12) the Concept Plan should include significant existing features on or within 200 feet of the property such as railroads, roads, buildings, utilities and drainage structures.

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. Please include a comment response narrative indicating how comments have been addressed with your plan resubmittal. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

Additional comments may be generated as requested information is provided. Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,

A handwritten signature in blue ink, reading "Pauline M. Gray". The signature is fluid and cursive, with the first name "Pauline" being more prominent than the last name "Gray".

Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.

**COMMENT RESPONSE**  
**CBD No. 5163**

**JAY ENGINEERING COMPANY, INC.**  
*P.O. Box 1220 (512) 259-3882*  
*Leander, TX 78646 Fax 259-8016*  
*Texas Registered Engineering Firm F-4780*

Date: Monday, April 27, 2020

Geoff Guerrero  
Carlson, Brigrance & Doering, Inc.  
5501 West William Cannon  
Austin TX 78749  
geoff@cbdeng.com

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1. The Cover Sheet should be removed from the submittal.  
**COMMENT RESPONSE: Cover sheet removed.**
2. The required signature blocks should be added to Concept Plan. A copy will be provided.  
**COMMENT RESPONSE: Signature blocks added.**
3. The site layout should be removed from the Concept Plan as it is not required.  
**COMMENT RESPONSE: Site layout removed.**
4. The location map should remain on the Concept Plan (no Cover Sheet).  
**COMMENT RESPONSE: Location map moved to plan sheet.**
5. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 21(c)(8) the Concept Plan should include:

Proposed number of residential and non-residential lots, tracts or parcels of together with the estimated:

**COMMENT RESPONSE: Project is one (1) multi-family lot of 9.973 acres. Acreage added to concept plan sheet.**

- (i) number of LUEs required for each category of lots;  
**COMMENT RESPONSE: Number of L.U.E.'s listed on plan sheet.**

(ii) traffic volume to be generated by all proposed development other than single family residential.

**COMMENT RESPONSE: Traffic volume listed on plan sheet.**



6. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 21(c)(9) the Concept Plan should include proposed and existing arterial and collector streets to serve the general area.

**COMMENT RESPONSE: Road R.O.W. is shown on plan sheet.**

7. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 21(c)(11) the Concept Plan should include significant drainage features and structures.

**COMMENT RESPONSE: Existing drainage structures shown and labeled on plan sheet.**

8. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 21(c)(12) the Concept Plan should include significant existing features on or within 200 feet of the property such as railroads, roads, buildings, utilities and drainage structures.

**COMMENT RESPONSE: Existing structures shown on plan sheet and called out.**

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. Please include a comment response narrative indicating how comments have been addressed with your plan resubmittal. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

Additional comments may be generated as requested information is provided. Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.



## AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 13, 2020

PREPARED BY: Scott Dunlop, Assistant Development Director

DEPARTMENT: Development Services

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### AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Short Form Final Plat for Ramirez Addition Subdivision, four (4) lots on 5.00 acres more or less, and being located at 13800 Rector Loop, Manor, TX. Applicant: Moncada Enterprises, LLC Owner: Reyes Ramirez

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### BACKGROUND/SUMMARY:

This project had expired after being approved in 2017 so the applicant had to re-file for another approval. This plat has not been approved by our engineer.

PRESENTATION: ☐ YES ☐ NO

ATTACHMENTS: ☐ YES (IF YES, LIST IN ORDER TO BE PRESENTED) ☐ NO

Plat

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### STAFF RECOMMENDATION:

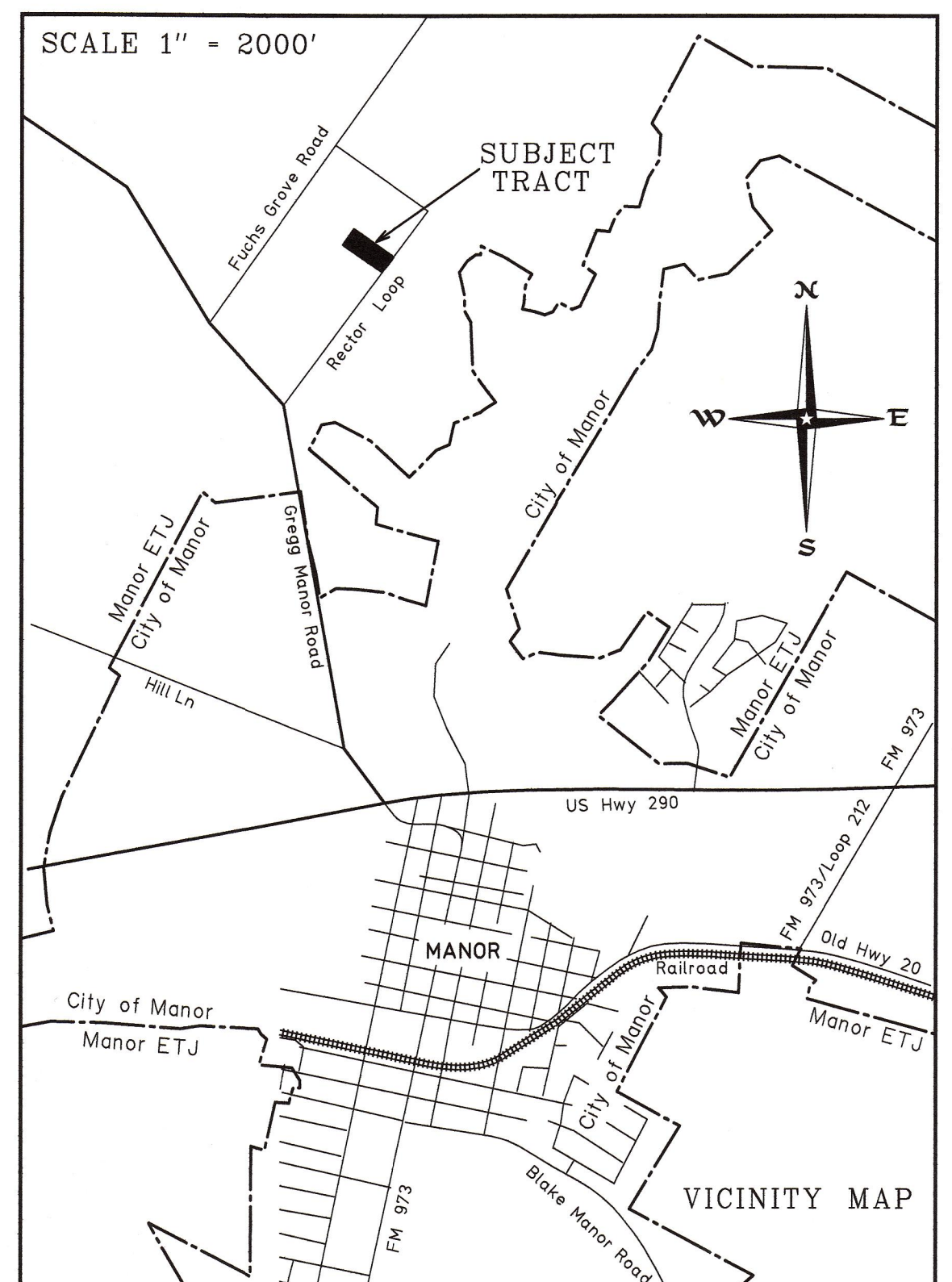
It is City staff's recommendation that the Planning and Zoning Commission deny a Short Form Final Plat for Ramirez Addition Subdivision, four (4) lots on 5.00 acres more or less, and being located at 13800 Rector Loop, Manor, TX.

PLANNING & ZONING COMMISSION: ☐ RECOMMENDED APPROVAL ☐ DISAPPROVAL ☐ NONE



# TRAVIS COUNTY CONSUMER PROTECTION NOTICE FOR HOMEBUYERS

IF YOU ARE BUYING A LOT OR HOME, YOU SHOULD DETERMINE WHETHER IT IS INSIDE OR OUTSIDE THE CITY LIMITS. DEPENDING ON STATE LAW AND OTHER FACTORS, LAND OUTSIDE THE CITY LIMITS MAY BE SUBJECT TO FEWER LOCAL GOVERNMENT CONTROLS OVER THE DEVELOPMENT AND USE OF LAND THAN INSIDE THE CITY LIMITS. BECAUSE OF THIS, LOCAL GOVERNMENT MAY NOT BE ABLE TO RESTRICT THE NATURE OR EXTENT OF DEVELOPMENT NEAR THE LOT OR HOME NOR PROHIBIT NEARBY LAND USES THAT ARE INCOMPATIBLE WITH A RESIDENTIAL NEIGHBORHOOD. THIS CAN AFFECT THE VALUE OF YOUR PROPERTY. TRAVIS COUNTY REQUIRES THIS NOTICE TO BE PLACED ON SUBDIVISION PLATS. IT IS NOT A STATEMENT OR REPRESENTATION OF THE OWNER OF THE PROPERTY, THE SUBDIVIDER, OR THEIR REPRESENTATIVES.

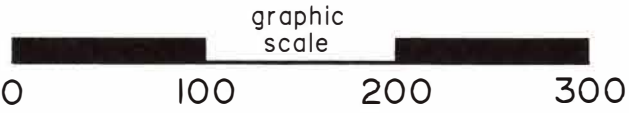




RAMIREZ ADDITION

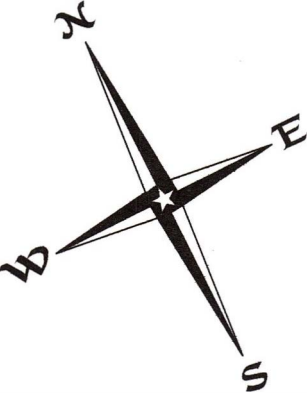
PREPARED: APRIL 24, 2019

SCALE: 1" = 100'



Legend

- 1/2" Iron Rod Found
- IPF ● 1/2" Iron Pipe Found
- 1/2" Iron Rod Set with plastic cap imprinted with "Holt Carson, Inc."
- Concrete Monument Set
- Proposed Sidewalk (Record Bearing and Distance)



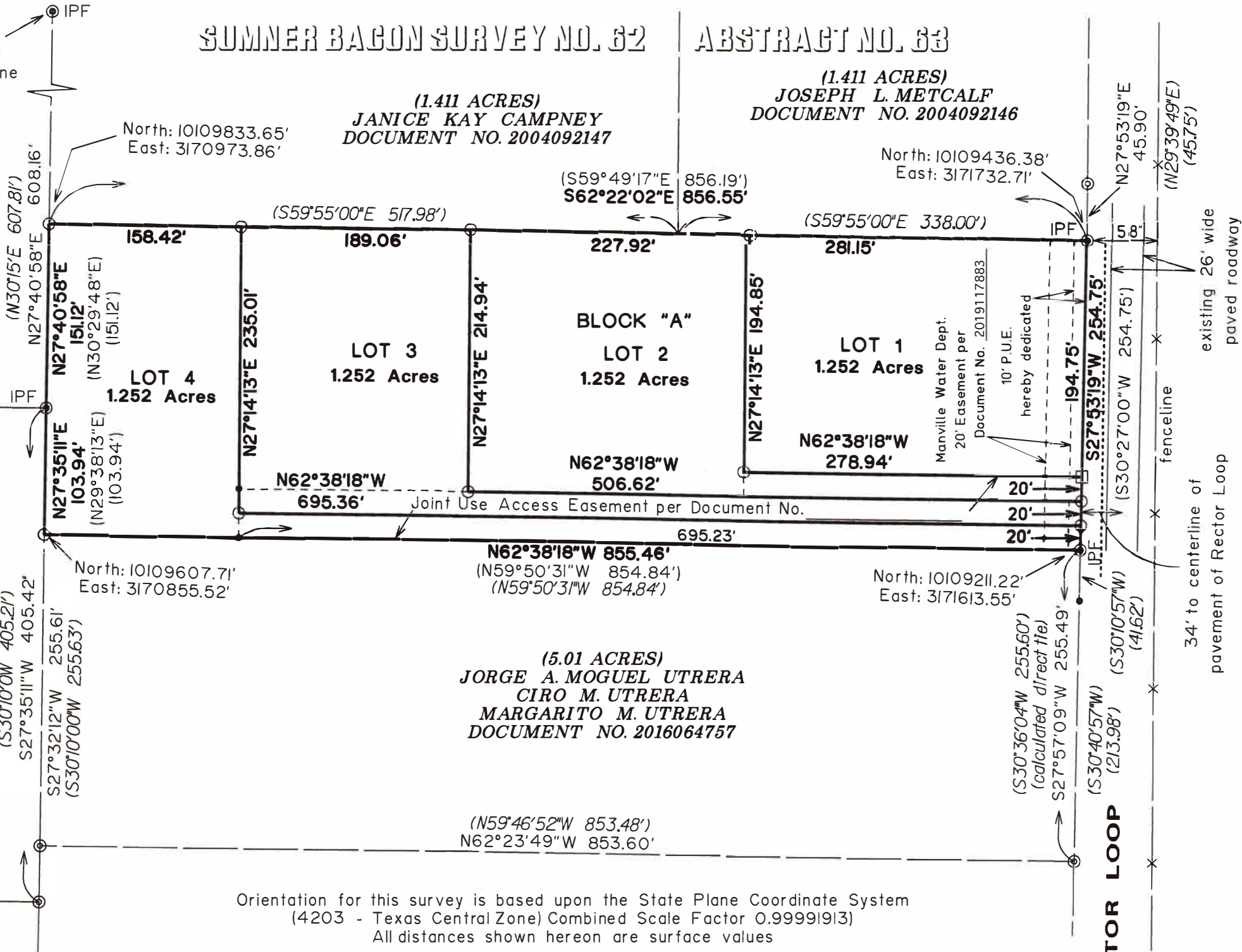
(4.139 ACRES)  
RICARDO JUAREZ  
DOCUMENT NO. 2013170203

(4 ACRES)  
JESUS ROSALES  
AND  
LILIA ROSALES  
DOCUMENT NO. 2007203137

SUMNER BACON SURVEY NO. 62 ABSTRACT NO. 63

(1.411 ACRES)  
JANICE KAY CAMPNEY  
DOCUMENT NO. 2004092147

(1.411 ACRES)  
JOSEPH L. METCALF  
DOCUMENT NO. 2004092146



THE STATE OF TEXAS  
THE COUNTY OF TRAVIS  
KNOW ALL MEN BY THESE PRESENTS:

That we, Francisco Reyes Ramirez, Pablo Reyes Ramirez, Serafin Reyes Ramirez and Marcelino Jaimes Albiter, owners of 5.008 acres of land out of the Sumner Bacon Survey No. 62, Abstract No. 63, in Travis County, Texas, as conveyed to us by virtue of deeds recorded in Document Nos. 2012183105 and 2017141016 of the Official Public Records of Travis County, Texas, do subdivide said property pursuant to Texas Local Government Code Chapters 212 and 232 in accordance with the attached map or plat to be known as

RAMIREZ ADDITION

and do hereby dedicate to the public the use of all streets and easements shown hereon subject to any easements and/or restrictions heretofore granted, and not released.

WITNESS MY HAND this the \_\_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_.

THE STATE OF TEXAS  
THE COUNTY OF TRAVIS

Francisco Reyes Ramirez  
1109 Liberty Farms Drive  
Austin, Texas 78754

I, the undersigned authority, on this the \_\_\_\_\_ day of \_\_\_\_\_, A.D., 20\_\_\_\_, did personally appear Francisco Reyes Ramirez, known to me to be the person whose name is subscribed to the foregoing instrument of writing, and he acknowledged before me that he executed the same for the purposes and considerations therein expressed.

NOTARY PUBLIC \_\_\_\_\_  
Printed Name \_\_\_\_\_  
Commission Expires \_\_\_\_\_

WITNESS MY HAND this the \_\_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_.

THE STATE OF TEXAS  
THE COUNTY OF TRAVIS

Pablo Reyes Ramirez  
1109 Liberty Farms Drive  
Austin, Texas 78754

I, the undersigned authority, on this the \_\_\_\_\_ day of \_\_\_\_\_, A.D., 20\_\_\_\_, did personally appear Pablo Reyes Ramirez, known to me to be the person whose name is subscribed to the foregoing instrument of writing, and he acknowledged before me that he executed the same for the purposes and considerations therein expressed.

NOTARY PUBLIC \_\_\_\_\_  
Printed Name \_\_\_\_\_  
Commission Expires \_\_\_\_\_

WITNESS MY HAND this the \_\_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_.

THE STATE OF TEXAS  
THE COUNTY OF TRAVIS

Serafin Reyes Ramirez  
1109 Liberty Farms Drive  
Austin, Texas 78754

I, the undersigned authority, on this the \_\_\_\_\_ day of \_\_\_\_\_, A.D., 20\_\_\_\_, did personally appear Serafin Reyes Ramirez, known to me to be the person whose name is subscribed to the foregoing instrument of writing, and he acknowledged before me that he executed the same for the purposes and considerations therein expressed.

NOTARY PUBLIC \_\_\_\_\_  
Printed Name \_\_\_\_\_  
Commission Expires \_\_\_\_\_

WITNESS MY HAND this the \_\_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_.

THE STATE OF TEXAS  
THE COUNTY OF TRAVIS

Marcelino Jaimes Albiter  
1109 Liberty Farms Drive  
Austin, Texas 78754

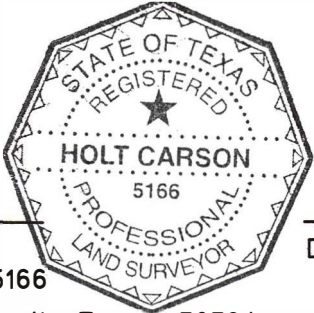
I, the undersigned authority, on this the \_\_\_\_\_ day of \_\_\_\_\_, A.D., 20\_\_\_\_, did personally appear Marcelino Jaimes Albiter, known to me to be the person whose name is subscribed to the foregoing instrument of writing, and he acknowledged before me that he executed the same for the purposes and considerations therein expressed.

NOTARY PUBLIC \_\_\_\_\_  
Printed Name \_\_\_\_\_  
Commission Expires \_\_\_\_\_

THE STATE OF TEXAS  
THE COUNTY OF TRAVIS

I, Holt Carson, am authorized under the laws of the State of Texas to practice the profession of surveying and hereby certify that this plat complies with the land surveying portions of Travis County Chapter 482 Development Regulations and is true and correct and was prepared from an actual survey of the property made by me or under my supervision on the ground.

Holt Carson  
Registered Professional Land Surveyor No. 5166  
HOLT CARSON, INC. 1904 Fortview Road Austin, Texas 78704  
(512)-442-0990



4-24-2019  
Date

THE STATE OF TEXAS \*  
THE COUNTY OF TRAVIS \*

I, Kerri Pena, am authorized under the laws of the State of Texas to practice the profession of engineering and hereby certify that this plat is feasible from an engineering standpoint and complies with the engineering portions of the City of Manor, Texas Subdivision Ordinance and Chapter 482 of the Travis County Code and is true and correct to the best of my knowledge.

No portion of this tract is within the designated flood hazard area as shown on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Panel No. 48453C0485J, Travis County, Texas, dated: August 18, 2014. Community No. 481026

Kerri Pena P.E. No. 90255 GREEN  
CIVIL DESIGN, LLC  
11130 Jollyville Road, Suite 101  
Austin, Texas 78759  
(512) 773-2766



04/06/2020  
Date

ACCEPTED AND AUTHORIZED FOR RECORD BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MANOR, TEXAS, ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_.

APPROVED:

ATTEST:

WILLIAM MYERS, CHAIRPERSON

LLUVIA TIJERINA, CITY SECRETARY

ACCEPTED AND AUTHORIZED FOR RECORD BY THE CITY COUNCIL OF THE CITY OF MANOR, TEXAS, ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_.

APPROVED:

ATTEST:

RITA JONSE, MAYOR

LLUVIA TIJERINA, CITY SECRETARY



RAMIREZ ADDITION

PREPARED: APRIL 24, 2019

NOTES:

1. THIS SUBDIVISION IS LOCATED WITHIN THE EXTRA-TERRITORIAL JURISDICTION OF THE CITY OF MANOR AS OF THIS DATE: \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_.
2. A TEN (10) FEET WIDE EASEMENT FOR PUBLIC UTILITIES IS HEREBY ASSIGNED ALONG ALL RIGHTS-OF-WAY DEDICATED BY THIS PLAT.
3. WATER SERVICE TO THESE LOTS IS PROVIDED BY MANVILLE WATER SUPPLY CORP  
ELECTRIC SERVICE TO THESE LOTS IS PROVIDED BY BLUEBONNET ELECTRIC COOPERATIVE  
THIS SUBDIVISION WILL BE SERVICED BY ONSITE SEWAGE FACILITY
4. LOT 2, LOT 3, AND LOT 4 OF THIS SUBDIVISION WILL ACCESS RECTOR LOOP FROM THE JOINT USE ACCESS EASEMENT SHOWN HEREON.
5. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL THE STRUCTURE IS CONNECTED TO AN APPROVED WATER SUPPLY AND AN APPROVED ON-SITE SEWAGE SYSTEM.
6. PUBLIC SIDEWALKS BUILT TO TRAVIS COUNTY STANDARDS ARE REQUIRED ALONG THE FOLLOWING STREETS AS SHOWN BY A DOTTED LINE ON THE FACE OF THE PLAT:[RECTOR LOOP]. THE SIDEWALKS ARE REQUIRED TO BE CONSTRUCTED BY THE PROPERTY OWNER AFTER THE ABUTTING ROADWAY IS IMPROVED AND CONCRETE CURBS ARE IN PLACE. FAILURE TO CONSTRUCT THE REQUIRED SIDEWALKS MAY RESULT IN THE WITHHOLDING OF CERTIFICATES OF OCCUPANCY, BUILDING PERMITS, OR UTILITY CONNECTIONS BY THE GOVERNING BODY OR UTILITY COMPANY.
7. NO CUT OR FILL ON ANY LOT MAY EXCEED EIGHT FEET, EXCLUDING DRIVEWAYS, A BUILDING STRUCTURE'S FOOTPRINT, OR A PARKING AREA FOOTPRINT, IN ACCORDANCE WITH THE TRAVIS COUNTY CODE.
8. AS DEPICTED ON THE PLAT, EACH PROTECTIVE EASEMENT FROM A CRITICAL ENVIRONMENTAL FEATURE, INCLUDING A CAVE, SINKHOLE, POINT RECHARGE FEATURE, BLUFF, CANYON RIMROCK FEATURE, WETLAND, AND SPRING MUST REMAIN IN ITS EXISTING, UNDEVELOPED, NATURAL STATE. NATURAL VEGETATIVE COVER MUST BE RETAINED. CONSTRUCTION ACTIVITIES, WASTEWATER DISPOSAL, AND WASTEWATER IRRIGATION ARE PROHIBITED WITHIN A PROTECTIVE EASEMENT. A RESIDENTIAL LAWN OR TRAIL IS ALLOWED IF IT IS LOCATED AT LEAST 50 FEET FROM THE EDGE OF A CRITICAL ENVIRONMENTAL FEATURE IN ACCORDANCE WITH THE TRAVIS COUNTY CODE.
9. AS DEPICTED ON THE PLAT, THE SETBACK AREA IDENTIFIED FOR EACH WATERWAY IS A PROTECTIVE EASEMENT THAT MUST REMAIN UNDEVELOPED AND ACTIVITIES MUST BE LIMITED WITHIN THE EASEMENT. THE PROTECTIVE EASEMENT MUST REMAIN FREE OF CONSTRUCTION, DEVELOPMENT, AND OTHER ALTERATIONS EXCEPT WHEN SPECIFICALLY APPROVED IN A TRAVIS COUNTY DEVELOPMENT PERMIT.
10. BEFORE BEGINNING CONSTRUCTION ACTIVITIES ON A SUBDIVISION LOT, THE OWNER MUST OBTAIN A TRAVIS COUNTY DEVELOPMENT PERMIT AND, WHEN APPLICABLE, OBTAIN AND IMPLEMENT A STORM WATER POLLUTION PREVENTION PLAN (SWP3). THE SWP3 REQUIRES IMPLEMENTATION OF TEMPORARY AND PERMANENT BEST MANAGEMENT PRACTICES, INCLUDING EROSION AND SEDIMENT CONTROLS, FOR PROTECTION OF STORM WATER RUNOFF QUALITY, IN ACCORDANCE WITH THE TRAVIS COUNTY CODE.
11. THE OWNER IS RESPONSIBLE FOR MAINTAINING AND OPERATING ALL PERMANENT WATER QUALITY CONTROLS IN COMPLIANCE WITH ALL APPLICABLE STANDARDS AND REQUIREMENTS OF THE TRAVIS COUNTY CODE. SEE DOCUMENT \_\_\_\_\_.
12. AN ACTIVITY THAT MAY ADVERSELY AFFECT A TREE OF EIGHT INCHES OR MORE IN TRUNK DIAMETER (MEASURED AT FOUR FEET HEIGHT ABOVE THE GROUND) IN A RIGHT-OF-WAY ACCEPTED FOR MAINTENANCE BY TRAVIS COUNTY MUST COMPLY WITH ALL STANDARDS AND REQUIREMENTS IN THE TRAVIS COUNTY CODE.
13. PARKLAND DEDICATION FEES HAVE BEEN PAID FOR FOUR (4) DWELLING UNITS.
14. ELECTRIC EASEMENTS GRANTED TO BLUEBONNET ELECTRIC COOPERATIVE BY INSTRUMENTS RECORDED IN DOCUMENT NOS. 2016050527, 2016050529 AND 2016143391 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS. DESCRIBED AS BEING "15 FEET ON EACH SIDE OF THE CENTERLINE OF THE INITIAL LINE(S) AS CONSTRUCTED BY THE GRANTEE" FOR OVERHEAD ELECTRIC FACILITIES AND DESCRIBED AS BEING "10 FEET EITHER SIDE OF THE INITIAL LINE(S) AS CONSTRUCTED BY THE GRANTEE" FOR UNDERGROUND ELECTRIC FACILITIES.
15. SITE PLANS AND SUBDIVISION PLANS SHALL MEET ALL APPLICABLE CODES, ORDINANCES, STATUTES AND GUIDELINES AS ESTABLISHED BY TRAVIS COUNTY EMERGENCY SERVICES DISTRICT NO. 12. (TCESD12).
16. TRAVIS COUNTY ESD NO. 12 (TCESD12) IS THE AUTHORITY HAVING JURSDICTION (AHJ) FOR ALL FIRE CODE REVIEWS, PERMITS, AND COMPLIANCE WITHIN TCESD12'S AREA.
17. PRIOR TO CONSTRUCTION, EXCEPT FOR SINGLE-FAMILY, ON ANY LOT IN THIS SUBDIVISION A FIRE CODE REVIEW-SITE CONSTRUCTION PERMIT SHALL BE OBTAINED FROM TCESD12.
18. THE PROPERTY OWNERS OF LOT 2, LOT 3, AND LOT 4 SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND FINANCIAL RESPONSIBILITIES ASSOCIATED WITH THE JOINT USE ACCESS EASEMENT SHOWN HEREON.
19. ALL LOTS IN THIS SUBDIVISION ARE RESTRICTED TO 7,000 SQUARE FEET OF IMPERVIOUS COVER PER LOT.

Travis County On-Site Wastewater Program Notes

1. No structure in this subdivision shall be occupied until connected to a public sewer system or a private on-site wastewater (septic) system that has been approved and licensed for operation by the Travis County On-Site Wastewater Program.
2. This subdivision is subject to all the terms and conditions of Chapter 448, Travis County Code, Rules of Travis County, Texas for On-Site Sewage Facilities. These rules require, among other things, that a construction permit be obtained from Travis County before an on-site sewage facility can be constructed, altered, modified, or repaired in the subdivision and that a license to operate be obtained from Travis County before an on-site sewage facility can be operated in the subdivision.
3. Each residential lot in this subdivision is restricted to no more than one single family dwelling per acre.
4. These restrictions are enforceable by the Travis County On-Site Wastewater Program.

Stacey Scheffel, D.R. No. OS001143  
Program Manager On-Site Wastewater Program  
Travis County TNR

Date

IN APPROVING THIS PLAT, THE COMMISSIONERS' COURT OF TRAVIS COUNTY, TEXAS, ASSUMES NO OBLIGATION TO BUILD THE STREETS, ROADS, AND OTHER PUBLIC THOROUGHFARES SHOWN ON THIS PLAT OR ANY BRIDGES OR CULVERTS IN CONNECTION THEREWITH. THE BUILDING OF ALL STREETS, ROADS, AND OTHER PUBLIC THOROUGHFARES SHOWN ON THIS PLAT, AND ALL BRIDGES AND CULVERTS NECESSARY TO BE CONSTRUCTED OR PLACED IN SUCH STREETS, ROADS, OR OTHER PUBLIC THOROUGHFARES OR IN CONNECTION THEREWITH, IS THE RESPONSIBILITY OF THE OWNER AND/OR DEVELOPER OF THE TRACT OF LAND COVERED BY THIS PLAT IN ACCORDANCE WITH PLANS AND SPECIFICATIONS PRESCRIBED BY THE COMMISSIONERS' COURT OF TRAVIS COUNTY, TEXAS.

THE OWNER(S) OF THE SUBDIVISION SHALL CONSTRUCT THE SUBDIVISION'S STREET AND DRAINAGE IMPROVEMENTS (THE IMPROVEMENTS) TO COUNTY STANDARDS IN ORDER FOR THE COUNTY TO ACCEPT THE PUBLIC IMPROVEMENTS FOR MAINTENANCE OR TO RELEASE FISCAL SECURITY POSTED TO SECURE PRIVATE IMPROVEMENTS. TO SECURE THIS OBLIGATION, THE OWNER(S) MUST POST FISCAL SECURITY WITH THE COUNTY IN THE AMOUNT OF THE ESTIMATED COST OF IMPROVEMENTS. THE OWNER(S) OBLIGATION TO CONSTRUCT THE IMPROVEMENTS TO COUNTY STANDARDS AND TO POST THE FISCAL SECURITY TO SECURE SUCH CONSTRUCTION IS A CONTINUING OBLIGATION BINDING ON THE OWNERS AND THEIR SUCCESSORS AND ASSIGNS UNTIL THE PUBLIC IMPROVEMENTS HAVE BEEN ACCEPTED FOR MAINTENANCE BY THE COUNTY, OR THE PRIVATE IMPROVEMENTS HAVE BEEN CONSTRUCTED AND ARE PERFORMING TO COUNTY STANDARDS.

THE AUTHORIZATION OF THIS PLAT BY THE COMMISSIONERS COURT FOR FILING OR THE SUBSEQUENT ACCEPTANCE FOR MAINTENANCE BY TRAVIS COUNTY, TEXAS, OF ROADS AND STREETS IN THE SUBDIVISION DOES NOT OBLIGATE THE COUNTY TO INSTALL STREET NAME SIGNS OR ERECT TRAFFIC CONTROL SIGNS, SUCH AS SPEED LIMIT, STOP SIGNS AND YIELD SIGNS, WHICH IS CONSIDERED TO BE A PART OF THE DEVELOPER'S CONSTRUCTION.

THE STATE OF TEXAS x  
THE COUNTY OF TRAVIS x I, Dana Debeauvoir, Clerk of the County Court, of Travis County, Texas, do hereby certify that on the \_\_\_\_\_ day of \_\_\_\_\_ A.D., 20\_\_\_\_. the Commissioners' Court of Travis County, Texas, passed an order authorizing the filing for record of this plat and that said order was duly entered in the minutes of said Court.

WITNESS MY HAND AND SEAL OF OFFICE of the County Court of said County, this the \_\_\_\_\_ day of \_\_\_\_\_ A.D., 20\_\_\_\_.

DANA DEBEAUVOIR, CLERK, COUNTY COURT TRAVIS COUNTY

Deputy

THE STATE OF TEXAS  
THE COUNTY OF TRAVIS  
I, Dana DeBeauvoir, Clerk of Travis County, Texas, do hereby certify that the foregoing Instrument of Writing and its Certificate of Authentication was filed for record in my office on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, A.D., at \_\_\_\_ o'clock \_\_\_\_ .M. and duly recorded on the \_\_\_\_\_ day of \_\_\_\_\_, A.D., at \_\_\_\_ o'clock \_\_\_\_ .M. in the Official Public Records of said County and State in Document No. \_\_\_\_\_

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY CLERK OF SAID COUNTY this the \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_, A.D

DANA DEBEAUVOIR, COUNTY CLERK TRAVIS COUNTY, TEXAS

BY: \_\_\_\_\_  
Deputy



## AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 13, 2020

PREPARED BY: Scott Dunlop, Assistant Development Director

DEPARTMENT: Development Services

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### AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Short Form Final Plat for Victor Garcia Subdivision, three (3) lots on 4.55 acres more or less, and being located at 15506 Schmidt Loop, Manor, TX. Applicant: M&S Engineering  
Owner: Victor Garcia

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### BACKGROUND/SUMMARY:

This is a 3 lot subdivision in Manor's ETJ. This plat has been approved by our engineer.

PRESENTATION: ☐ YES ☐ NO

ATTACHMENTS: ☐ YES (IF YES, LIST IN ORDER TO BE PRESENTED) ☐ NO

Plat

Conformance Letter

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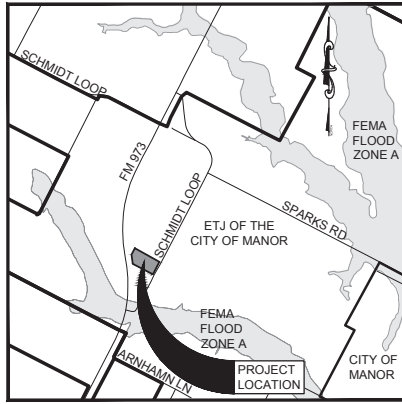
### STAFF RECOMMENDATION:

It is City staff's recommendation that the Planning and Zoning Commission approve a Short Form Final Plat for Victor Garcia Subdivision, three (3) lots on 4.55 acres more or less, and being located at 15506 Schmidt Loop, Manor, TX.

PLANNING & ZONING COMMISSION: ☐ RECOMMENDED APPROVAL ☐ DISAPPROVAL ☐ NONE



# FINAL PLAT OF VICTOR GARCIA SUBDIVISION



SCALE: 1"=2,000'

## LEGEND

- IRON ROD SET, MARKED "FOREST 1847"
- IRON ROD FOUND
- TxDOT TYPE 1 CONCRETE MONUMENT
- TxDOT TYPE 2 BRONZE DISK
- TxDOT TYPE 3 ALUMINUM CAP

OWNER: VICTOR GARCIA  
15506 SCHMIDT LOOP  
MANOR, TEXAS 78653  
PHONE 512.761.0504  
EMAIL VICTOR.GARCIA@TRUETEAM.COM

SURVEYOR: WILLIAM F. FOREST, JR., RPLS  
FOREST SURVEYING  
1002 ASH ST.  
GEORGETOWN, TX 78626  
PHONE 512.930.5927  
EMAIL BETHANN@FORESTSURVEYING.COM

ENGINEER: JEN HENDERSON, PE  
M&S ENGINEERING  
FIRM F-1394  
102 W. MORROW ST.  
GEORGETOWN, TEXAS 78626  
PHONE 830.228.5446  
EMAIL JHENDERSON@MSENGR.COM

SUBMITTAL DATE: DECEMBER 20, 2019

REVISION DATE: 10/04/19

ORIGINAL SURVEY: SUMNER BACON SURVEY ABSTRACT NO. 63

FEMA FLOODPLAIN: THERE IS NO ENCROACHMENT OF THE 100 YEAR FLOOD PLAIN AS SHOWN ON FIRM PANEL 48453C0295H, DATED 09/26/2008

NEW STREETS: NO NEW STREETS ARE PLANNED

LAND USE: RESIDENTIAL

TOTAL LOTS: 3

TOTAL BLOCKS: 1

## TRAVIS COUNTY ON-SITE WASTEWATER PROGRAM PLAT NOTES

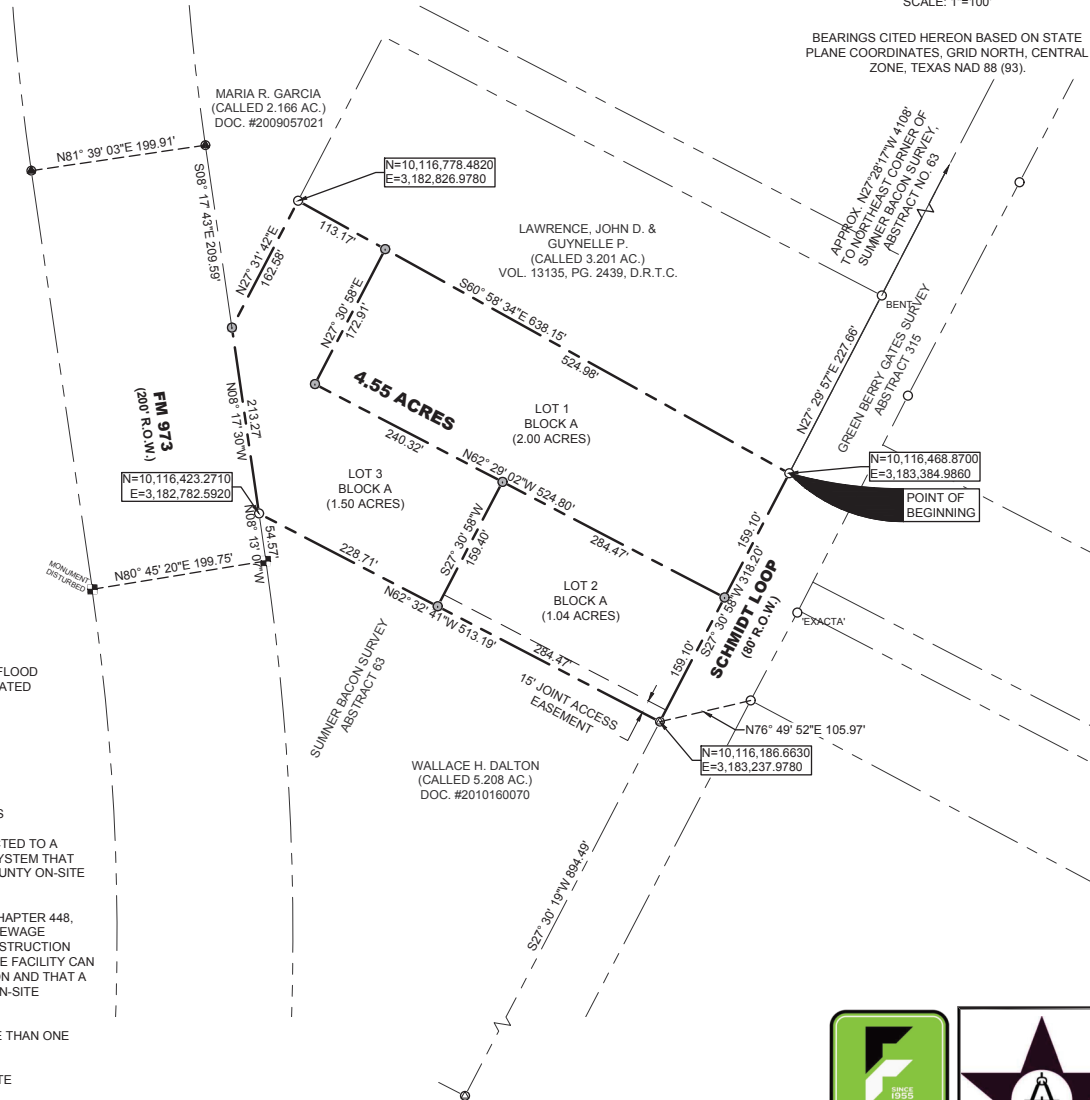
- NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A PUBLIC SEWER SYSTEM OR A PRIVATE ON-SITE WASTEWATER (SEPTIC) SYSTEM THAT HAS BEEN APPROVED AND LICENSED FOR OPERATION BY THE TRAVIS COUNTY ON-SITE WASTEWATER PROGRAM.
- THIS SUBDIVISION IS SUBJECT TO ALL THE TERMS AND CONDITIONS OF CHAPTER 448, TRAVIS COUNTY CODE, RULES OF TRAVIS COUNTY, TEXAS FOR ON-SITE SEWAGE FACILITIES. THESE RULES REQUIRE, AMONG OTHER THINGS, THAT A CONSTRUCTION PERMIT BE OBTAINED FROM TRAVIS COUNTY BEFORE AN ON-SITE SEWAGE FACILITY CAN BE CONSTRUCTED, ALTERED, MODIFIED, OR REPAIRED IN THE SUBDIVISION AND THAT A LICENSE TO OPERATE BE OBTAINED FROM TRAVIS COUNTY BEFORE AN ON-SITE SEWAGE FACILITY CAN BE OPERATED IN THE SUBDIVISION.
- EACH RESIDENTIAL LOT IN THIS SUBDIVISION IS RESTRICTED TO NO MORE THAN ONE SINGLE FAMILY DWELLING PER ACRE.
- THESE RESTRICTIONS ARE ENFORCEABLE BY THE TRAVIS COUNTY ON-SITE WASTEWATER PROGRAM.

STACEY SCHEFFEL D.R. #0S0011143  
PROGRAM MANAGER,  
ON-SITE WASTEWATER, TRAVIS COUNTY TNR

DATE

BEARINGS CITED HEREON BASED ON STATE  
PLANE COORDINATES, GRID NORTH, CENTRAL  
ZONE, TEXAS NAD 88 (93).

0 100 200  
SCALE: 1"=100'



## PERIMETER FIELD NOTES:

BEING 4.55 ACRES OF LAND, SITUATED IN THE SUMNER BACON SURVEY, ABSTRACT NO. 326, IN TRAVIS COUNTY, TEXAS, AS DESCRIBED IN A DEED FROM MARIA T. GARCIA TO VICTOR GARCIA, OF RECORD IN DOCUMENT NO. 2019080238, OFFICIAL PUBLIC RECORDS TRAVIS COUNTY, TEXAS. THIS TRACT WAS SURVEYED ON THE GROUND IN NOVEMBER OF 2019 UNDER THE DIRECTION OF WILLIAM F. FOREST, JR., REGISTERED PROFESSIONAL LAND SURVEYOR NO. 1847. SURVEY NOTE: THE BEARING BASIS FOR THIS SURVEY IS THE STATE PLANE COORDINATE SYSTEM, TEXAS CENTRAL ZONE (4203), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING, AT A 1/2" IRON PIN FOUND (STEEL PIN), AT THE NORTHEAST CORNER OF SAID 4.55 ACRE TRACT, SAME BEING THE SOUTHEAST CORNER OF A CALLED 3.201 ACRE TRACT, DESCRIBED IN A DEED TO JOHN D. LAWRENCE AND GUYNELLE P. LAWRENCE, RECORDED IN VOLUME 13135, PAGE 02439, REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS, FOR THE NORTHEAST CORNER HEREOF AND THE POINT OF BEGINNING, SAID POINT BEING IN THE WEST RIGHT-OF-WAY LINE OF SCHMIDT LOOP, FROM WHICH A 1/2" IRON PIN FOUND, AT THE NORTHEAST CORNER OF SAID 3.201 ACRE TRACT BEARS: N 27°29'57" E, 227.66 FEET,

THENCE, WITH THE WEST RIGHT-OF-WAY LINE OF SCHMIDT LOOP AND THE EAST LINE OF SAID 4.55 ACRE TRACT, ALONG OR NEAR A FENCE, S 27°30'58" W, 318.20 FEET, TO A TxDOT TYPE 1 CONCRETE MONUMENT FOUND, FOR THE SOUTHEAST CORNER HEREOF, SAME BEING THE SOUTHEAST CORNER OF SAID 4.55 ACRE TRACT, SAME BEING THE NORTHEAST CORNER OF A 4.55 ACRE TRACT, OF RECORD TO H. DALTON WALLACE, DOCUMENT NO. 2010160070, OFFICIAL PUBLIC RECORDS TRAVIS COUNTY, TEXAS, FROM WHICH A TxDOT TYPE 1 CONCRETE MONUMENT FOUND, BEARS: S 27°30'19" W, 894.49 FEET,

THENCE, DEPARTING THE WEST RIGHT-OF-WAY LINE OF SAID SCHMIDT LOOP, WITH THE COMMON LINE OF SAID GARCIA 4.55 ACRE TRACT, AND SAID WALLACE 4.55 ACRE TRACT, N 62°32'41" W, 513.19 FEET, TO A 1/2" IRON PIN FOUND, FOR THE SOUTHWEST CORNER HEREOF, SAME BEING THE SOUTHWEST CORNER OF SAID GARCIA 4.55 ACRE TRACT, SAME BEING THE NORTHWEST CORNER OF SAID WALLACE 4.55 ACRE TRACT, SAID POINT BEING IN THE EAST RIGHT-OF-WAY LINE OF FARM TO MARKET ROAD 973 (FM 973), FROM WHICH A 1/2" CAPPED IRON PIN FOUND, MARKER NOT LEGIBLE, BEARS: S 08°13'07" E, 54.57 FEET,

THENCE, WITH THE EAST RIGHT-OF-WAY LINE OF FM 973, AND THE WEST LINE OF SAID GARCIA 4.55 ACRE TRACT, N 08°17'30" W, 213.27 FEET, TO A 1/2" CAPPED IRON PIN SET, MARKED "FOREST RPLS 1847", FOR AN ANGLE POINT HEREOF, SAME BEING SOUTHWEST CORNER OF A 2.166 ACRE TRACT, OF RECORD TO MARIA R. GARCIA, DOCUMENT NO. 2009057021, OFFICIAL PUBLIC RECORDS TRAVIS COUNTY, TEXAS, FROM WHICH A TxDOT TYPE 2 MONUMENT (BRONZE DISK) FOUND, BEARS: N 08°17'43" W, 209.59 FEET,

THENCE, DEPARTING THE EAST RIGHT-OF-WAY LINE OF FM 973, WITH THE COMMON LINE OF SAID GARCIA 4.55 ACRE TRACT, AND SAID 2.166 ACRE TRACT, N 27°31'42" E, 162.58 FEET, TO A 1/2 INCH IRON PIN FOUND, FOR THE NORTHWEST CORNER HEREOF, SAME BEING THE NORTHWEST CORNER OF SAID GARCIA 4.55 ACRE TRACT, SAME BEING THE SOUTHWEST CORNER OF SAID 3.201 ACRE TRACT,

THENCE, WITH THE COMMON LINE OF SAID GARCIA 4.55 ACRE TRACT, AND SAID 3.201 ACRE TRACT, S 60°58'34" E, 638.15 FEET, TO THE POINT OF BEGINNING.

## PLAT NOTES:

- A TEN (10) FOOT WIDE EASEMENT FOR PUBLIC UTILITIES IS HEREBY ASSIGNED ALONG ALL RIGHTS-OF-WAYS DEDICATED BY THIS PLAT.
- THIS SUBDIVISION IS LOCATED WITHIN THE EXTRA TERRITORIAL JURISDICTION OF THE CITY OF MANOR AS OF 20TH DAY OF SEPTEMBER, 2006.

SHEET  
01 OF 02



**M&S ENGINEERING**  
CIVIL | ELECTRICAL | STRUCTURAL | MEP  
TEXAS PROFESSIONAL ENGINEERING FIRM # F-1394  
WWW.MSENGR.COM | (830) 228-5446

Date: Dec 31, 2019, 9:07am User ID: isomera  
File: T:\Active Projects\2019\81 Georgetown General Civil\81 19VGARC.001 - 15506 Schmidt Loop\dwg\Sheets\81 19VGARC.001-FINAL PLAT.dwg

TEXAS PROFESSIONAL ENGINEERING FIRM # F-1394  
WWW.MSENGR.COM | (830) 228-5446



**JAY ENGINEERING COMPANY, INC.**

*P.O. Box 1220 (512) 259-3882  
Leander, TX 78646 Fax 259-8016  
Texas Registered Engineering Firm F-4780*

Date: Wednesday, May 6, 2020

Jen Henderson  
M&S Engineering  
102 W Morrow ste 101  
Georgetown TX 78626  
jhenderson@msengr.com

Permit Number 2020-P-1232-SF  
Job Address: 15506 Schmidt Loop, Manor 78653

Dear Jen Henderson,

We have conducted a review of the final plat for the above-referenced project, submitted by Jen Henderson and received by our office on April 29, 2020, for conformance with City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A, Article II, Section 24. The Plat appears to be in general compliance with City Ordinance requirements and we, therefore, take no exception to their approval as presented. Please submit TWO (2) mylar copies of the final plat along with a current tax certificate and a check made out to Travis County for the filing fees to the City of Manor for signatures. One mylar is for City records and the other is for Travis County.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance. Please call if you have any questions or need additional information.

Sincerely,



Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.



## AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 13, 2020

PREPARED BY: Scott Dunlop, Assistant Development Director

DEPARTMENT: Development Services

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### AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Preliminary Plat for St. Joseph Subdivision, one (1) lots on 24.77 acres more or less, and being located near Gregg Manor Road and Hill Lane, Manor, TX. Applicant: Migl Engineering and Consulting Owner: Catholic Diocese of Austin

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### BACKGROUND/SUMMARY:

This plat has been approved by our engineer. It is a one lot subdivision for a future church location.

PRESENTATION: ☐ YES ☐ NO

ATTACHMENTS: ☐ YES (IF YES, LIST IN ORDER TO BE PRESENTED) ☐ NO

Letter of Intent

Plat

TIA Determination

Conformance Letter

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### STAFF RECOMMENDATION:

It is City staff's recommendation that the Planning and Zoning Commission approve a Preliminary Plat for St. Joseph Subdivision, one (1) lots on 24.77 acres more or less, and being located near Gregg Manor Road and Hill Lane, Manor, TX.

PLANNING & ZONING COMMISSION: ☐ RECOMMENDED APPROVAL ☐ DISAPPROVAL ☐ NONE



April 3, 2020

Mr. Scott Dunlop  
Assistant Development Services Director  
City of Manor  
105 East Eggleston Street  
Manor, TX 78653

**Re: St. Joseph Subdivision  
Preliminary Plat  
Summary Letter**

Dear Mr. Dunlop:

This application consists of a Preliminary Plat for the St. Joseph Subdivision on Hill Lane. The subdivision will consist of a single 24.77-acre tract. The site is located in the full jurisdiction of the City of Manor and Travis County.

The property is being platted for a proposed church campus that will consist of a 12,750 square foot sanctuary, a 4,800 square foot parish hall, portables for ministry services, and associated parking and site improvements. Ministry buildings are desired to replace the portables in the future.

A TIA is not required per the TIA Determination. No public streets or street improvements are required or proposed to serve this subdivision.

The lot has thirty-seven (37) feet of fall from north to south with a gentle slope of approximately 2.7%. No portion of the site is located within the 100-year floodplain. On-site detention will be provided downgradient of the proposed site improvements and runoff will be attenuated to pre-developed flow rates. Detention design and calculations will be detailed and permitted with the site plan application.

The site is within the City of Manor water and wastewater service area; an off-site extension of water and wastewater infrastructure will be required to bring services to the project site. The proposed development will require 10 LUE's. A public water line is proposed parallel to Hill Lane. The water line will extend from the intersection of Gregg Manor Lane west approximately 2,400

feet to the west corner of the St. Joseph Subdivision. A private wastewater grinder pump is proposed on-site. Approximately 1,500 feet of force main will be constructed from the subdivision east to an existing gravity wastewater main.

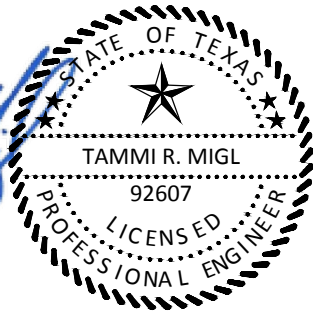
No Significant Trees exist on the property.

Please let us know if you have any questions or need additional information.

Sincerely,

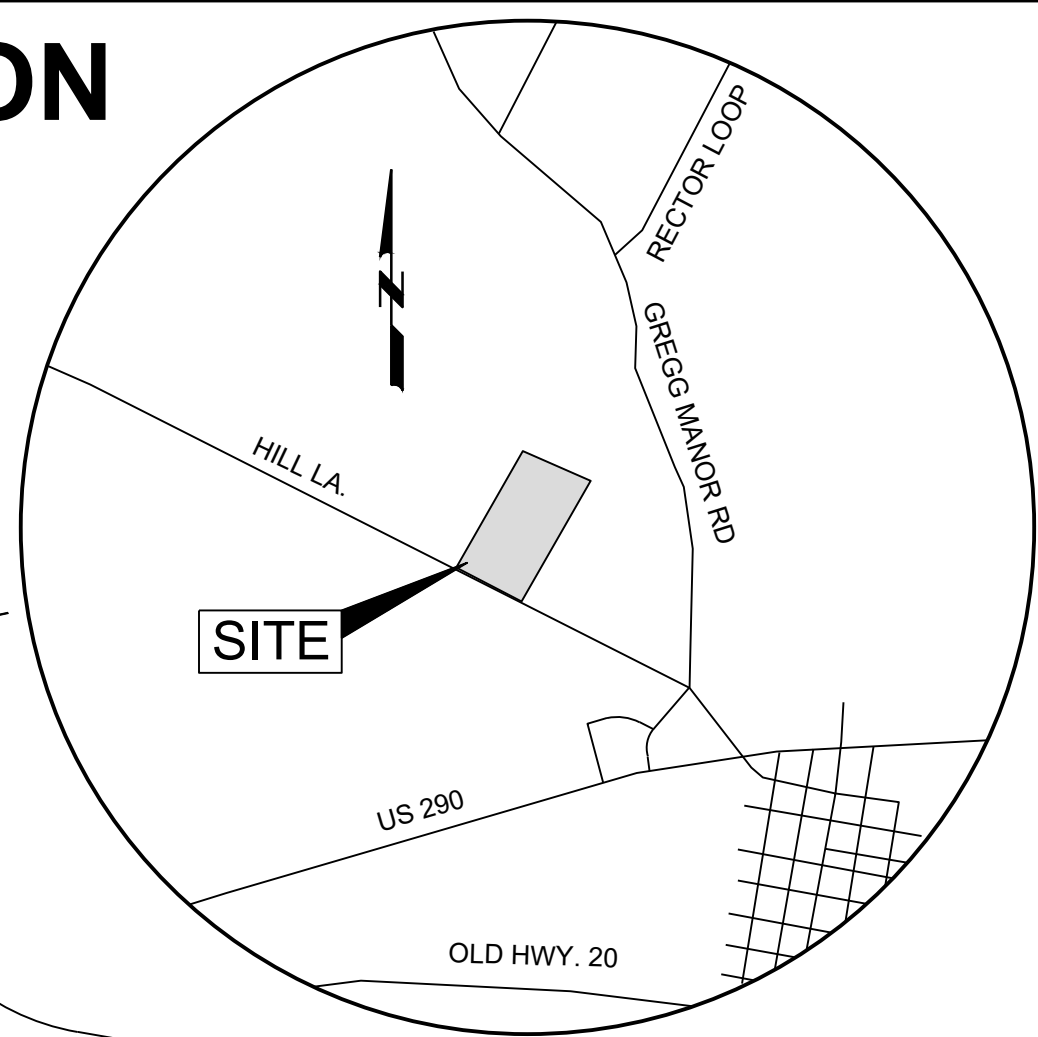


Tammi Migl, P.E.  
Principal

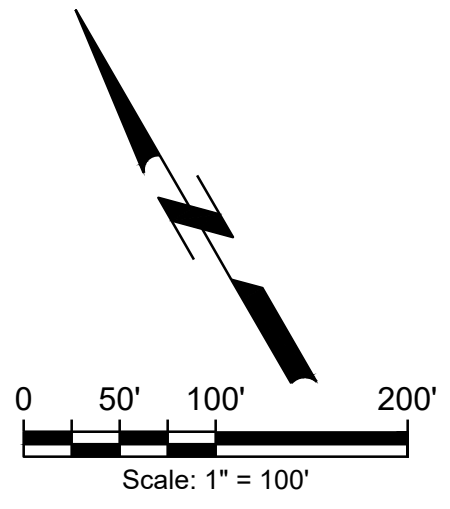




ST. JOSEPH SUBDIVISION  
PRELIMINARY PLAN



LOCATION MAP  
SCALE: 1"=2000'



BUILDING

PARKING

BLDG.

CALLLED 65.0 ACRES  
MANOR INDEPENDENT  
SCHOOL DISTRICT  
DOC. NO. 2001144922  
O.P.R.T.C.T.

S 71°25'59" E - 12.50' (N 68°33'49" W 12.18')

DRIVEWAY

S 72°15'15" E - 740.18'

CALLLED 24.811 ACRES  
9 SUNNY PARTNERS, LP  
DOC. NO. 2005189066  
O.P.R.T.C.T.

CALLLED 24.8354 ACRES  
MANOR INDEPENDENT  
SCHOOL DISTRICT  
VOL. 12597, PG. 1543  
R.P.R.T.C.T.

US 290  
ABSTRACT NO. 63  
SABAL COUNTY, TEXAS

LOT 1, BLOCK A  
24.77 ACRES

CALLLED 24.7833 ACRES  
THE MOST REVEREND JOHN MCCARTHY,  
BISHOP OF THE DIOCESE OF AUSTIN  
AND HIS SUCCESSORS IN OFFICE  
VOL. 13327, PG. 702  
R.P.R.T.C.T.

LEGEND

- 1/2" IRON ROD FOUND
- BENCHMARK SET
- 5/8" IRON PIPE FOUND
- 60D NAIL FOUND
- 60D NAIL SET
- CAPPED REBAR FOUND
- "X" SET IN CONCRETE
- "X" FOUND IN CONCRETE
- SPINDLE FOUND
- PUNCH HOLE FOUND
- CHAIN LINK FENCE
- WOOD FENCE
- METAL FENCE
- CITY LIMITS
- PROPERTY LINE
- BUILDING LINE
- PUBLIC UTILITY EASEMENT
- DRAINAGE EASEMENT
- CONTROL MONUMENT
- RIGHT OF WAY
- PLACE OF BEGINNING
- OVERHEAD UTILITY LINE
- POWER POLE
- AIR CONDITIONER

O.P.R.T.C.T. = OFFICIALPUBLIC RECORDS, TRAVIS COUNTY, TEXAS

R.P.R.T.C.T. = REALPROPERTY RECORDS, TRAVIS COUNTY, TEXAS

( ) = RECORD BEARING AND DISTANCE PER VOL. 13327, PG. 702 R.P.R.T.C.T.

N 27°05'13" E - 1392.75'

S 27°05'25" W - 1512.29'

MANOR CITY LIMITS

CITY OF AUSTIN ETJ

MANOR CITY LIMITS

BUTLER FAMILY  
PARTNERSHIP LTD  
VOL. 12271, PG. 872  
R.P.R.T.C.T.

PIPELINE PERMANENT  
ESMT. PER 11071/1011,  
2011042154 & 2011147986

GAS METER

GAS METER

GAS METER

N 63°06'08" W - 742.63'

N 26°54'00" E - 64.74'

CALLLED 214.198 ACRES  
LAS ENTRADAS DEVELOPMENT  
CORPORATION  
DOC. NO. 2007002485  
O.P.R.T.C.T.

HILL LANE (50' R.O.W.)

TEMPORARY BENCHMARK:  
SPINDLE SET IN PAVEMENT  
NAVE88 ELEVATION=537.55'

OWNER/DEVELOPER:

CATHOLIC DIOCESE OF AUSTIN  
6225 E US 290 HWY SVRD. EB,  
AUSTIN, TX 78723

PH: 512.949.2400

ENGINEER:

TAMMI MIGL  
MIGL ENGINEERING AND CONSULTING  
9600 ESCARPMENT BLVD., STE 745-174  
AUSTIN, TX 78749

PH: 512.750.0440

SURVEYOR:

MARGARET A. NOLEN, R.P.L.S.  
CP&Y, INC.  
ONE CHISHOLM TRAIL, SUITE NO. 130  
ROUND ROCK, TEXAS 78681

PH: 512.248.0065  
TBPLS FIRM LICENSE NO. 10194125

TOPOGRAPHY:  
VICTOR M. GARZA  
B&G SURVEYING, LLO.  
1404 WEST NORTH LOOP BLVD.  
AUSTIN, TX. 78756

PH: 512.458.6969

LANDUSE:

24.76 AC. RELIGIOUS ASSEMBLY

NOTES:

- THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF MANOR CORPORATE CITY LIMITS.

THE CITY OF MANOR ACKNOWLEDGEMENTS

THE PRELIMINARY PLAN HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MANOR, TEXAS, AND IS HEREBY RECOMMENDED FOR APPROVAL BY THE CITY COUNCIL ON THIS THE \_\_\_\_ DAY OF \_\_\_\_, 20\_\_ A.D.

APPROVED:

ATTEST:

CHAIRPERSON

CITY SECRETARY

ACCEPTED AND APPROVED FOR RECORD BY THE CITY COUNCIL, CITY OF MANOR TEXAS ON THIS THE \_\_\_\_ DAY OF \_\_\_\_, 20\_\_ A.D.

BY:

ATTEST:

MAYOR OF THE CITY OF MANOR, TEXAS

CITY SECRETARY

SUBDIVISION INFORMATION

LOTS	1
LUE'S REQUIRED	10

CLIENT	CATHOLIC DIOCESE OF AUSTIN 6225 E US 290 HWY SVRD EB, AUSTIN, TX 78723	
PROJECT	ST. JOSEPH SUBDIVISION HILL LA, MANOR, TX. 78653	
SHEET TITLE	PRELIMINARY PLAN	
PROJECT NO. 0128.007.02	DATE: 04/03/2020	SHEET NO. 1 OF 1



## TRAFFIC IMPACT ANALYSIS (TIA) DETERMINATION WORKSHEET

**APPLICANT MUST FILL IN WORKSHEET PRIOR TO SUBMITTING FOR TIA DETERMINATION**

PROJECT NAME: \_\_\_\_\_

LOCATION: \_\_\_\_\_

APPLICANT: \_\_\_\_\_ TELEPHONE NO: \_\_\_\_\_

APPLICATION STATUS: \_\_\_\_\_ DEVELOPMENT ASSESSMENT: \_\_\_\_\_ ZONING: \_\_\_\_\_ SITE PLAN: \_\_\_\_\_

### EXISTING:

### FOR OFFICE USE ONLY

TRACT NUMBER	TRACT ACRES	BLDG SQ.FT.	ZONING	LAND USE	L.T.E CODE	TRIP RATE	TRIPS PER DAY

### PROPOSED

### FOR OFFICE USE ONLY

TRACT NUMBER	TRACT ACRES	BLDG SQ.FT.	ZONING	LAND USE	L.T.E CODE	TRIP RATE	TRIPS PER DAY
					Total		

### ABUTTING ROADWAYS

### FOR OFFICE USE ONLY

STREET NAME	PROPOSED ACCESS?	PAVEMENT WIDTH	CLASSIFICATION
		22 feet	Primary collector

### FOR OFFICE USE ONLY

- A traffic impact analysis is required. The consultant preparing the study must meet with a transportation planner to discuss the scope and requirements of the study before beginning the study.
- X — A traffic impact analysis is NOT required. The traffic generated by the proposal does not exceed the thresholds established in the Land Development Code.
- A neighborhood traffic analysis will be performed by the City for this project. The applicant may have to collect existing traffic counts. See a transportation planner for information.

REVIEWED BY: Pauline M. Gray, P.E. DATE: 3/9/2020

DISTRIBUTION: X FILE CAP. METRO TxDOT Austin DSD TRAVIS CO. TOTAL COPIES: \_\_\_\_\_

**NOTE: A TIA determination must be made prior to submittal of any preliminary plat or site plan application, therefore, this completed and reviewed form MUST ACCOMPANY any subsequent application for the IDENTICAL project. CHANGES to the proposed project will REQUIRE a new TIA determination to be made.**

**JAY ENGINEERING COMPANY, INC.**

*P.O. Box 1220 (512) 259-3882  
Leander, TX 78646 Fax 259-8016  
Texas Registered Engineering Firm F-4780*

Date: Wednesday, May 6, 2020

Tammi Migl  
Migl Engineering and Consulting  
9600 Escarpment Boulevard, Suite 745-174  
Austin TX 78749  
tammi@miglengineering.com

Permit Number 2020-P-1247-PP  
Job Address: Catholic Diocese of Austin Preliminary Plan, Manor 78653

Dear Tammi Migl,

We have conducted a review of the preliminary plat for the above-referenced project, submitted by Tammi Migl and received by our office on April 14, 2020, for conformance with the City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B. The Plans appear to be in general compliance with City Ordinance requirements and we therefore take no exception to their approval as presented.

**Please submit a hard copy of the cover sheet to Scott Dunlop at the City of Manor for signatures. A copy of the signed cover sheet will be uploaded under project files on the my permit now website.**

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance. Please call if you have any questions or need additional information.

Sincerely,



Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.



## AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 13, 2020

PREPARED BY: Scott Dunlop, Assistant Development Director

DEPARTMENT: Development Services

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### AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Preliminary Plat for Lagos Subdivision Phases 2 – 4, three hundred fifty-three (353) lots on 96.06 acres more or less, and being located near N FM 973 and Brenham Road, Manor, TX. Applicant: Kimley-Horn & Associates. Owner: 706 Investment Partnership, LTD

---

### BACKGROUND/SUMMARY:

This project was on hold while the traffic impact analysis was finalized with the City, TxDOT and Travis County. The TIA has been approved and a phasing agreement for the mitigations is currently being drafted and that agreement will need to be finalized prior to the next phase's construction being accepted by the city. The preliminary plat has been approved by our engineer.

PRESENTATION: ☐ YES ☐ NO

ATTACHMENTS: ☐ YES (IF YES, LIST IN ORDER TO BE PRESENTED) ☐ NO

Letter of Intent

Plat

Engineer Comments

TIA Mitigations

Conformance Letter

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### STAFF RECOMMENDATION:

It is City staff's recommendation that the Planning and Zoning Commission approve a Preliminary Plat for Lagos Subdivision Phases 2 – 4, three hundred fifty-three (353) lots on 96.06 acres more or less, and being located near N FM 973 and Brenham Road, Manor, TX.

PLANNING & ZONING COMMISSION: ☐ RECOMMENDED APPROVAL ☐ DISAPPROVAL ☐ NONE



May 23, 2017

City of Manor  
Planning and Development Review Department  
105 E. Eggleston Street  
Manor, Texas 78653

**Re:     *Summary Letter – Lagos Phase 2-4  
Preliminary Plat Application  
Southeast Corner of FM 973 and Blake Manor Road  
Manor, Texas 78653***

To Whom It May Concern:

The proposed Lagos Phase 2-4 development is located near the southeast corner of FM 973 and Blake Manor Road in Manor, Texas. The proposed preliminary plat is approximately 96 acres. The site is currently undeveloped.

The proposed development includes the construction of approximately 340 single-family residential units, 3.6 acres of village clusters with a density of approximately 10 units/acre, approximately 15,200 linear feet of roadway, sidewalks, landscaping, stormwater management infrastructure, water, and wastewater improvements. Water and wastewater service for the development will be provided by existing adjacent City of Manor water and wastewater lines. This property is a part of the Lagos PUD established on June 15, 2016 under ordinance number 441. As such, this development is bound to the development standards outlined in the PUD and the City of Manor code at the time of its implementation.

This project is located within the Gilleland Creek Watershed, classified as a Suburban Watershed within the City of Austin Desired Development Zone. No portion of the site is located in the Federal Emergency Management Agency's 100-year floodplain according to Flood Insurance Rate Map #48453C0485J, Travis County, Texas and incorporated areas, dated August 18, 2014.

Runoff from the proposed development is intended to be detained in the Phase 1 detention pond to the west of the property. The detention pond has been sized to capture and detain the proposed impervious cover for all phases of the Lagos Manor PUD. Runoff will be released from the pond so that the peak flow at the point of analysis "A" to an existing tributary of Gilleland Creek does not exceed existing conditions. Additional details regarding these facilities are provided in the Engineer's Report submitted with this package.

If you have any questions or comments regarding this request, please contact me at 512-418-1771.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



Robert J. Smith, P.E.  
Associate





Plotted By: Walker, Jordan (Austin) Date: July 03, 2019 08:00:48pm File Path: K:\AUS-Civil\069241722 Lagos Manor\Draw\PlanSheets\Overall Prelim Plan.dwg This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



PUD NOTES

1. AN AERIAL PHOTOGRAPH MAY BE SUBMITTED AT THE PRELIMINARY PLAT STAGE RATHER THAN A TREE SURVEY.
2. AN INVENTORY OF SIGNIFICANT TREES THAT IDENTIFIES THE NUMBER OF SIGNIFICANT TREES BY CATEGORY (TREES 18 INCHES IN CALIPER OR LARGER AND TREES BETWEEN 8 AND 18 INCHES IN CALIPER) TO REMAIN DURING CONSTRUCTION AND THE NUMBER OF SIGNIFICANT TREES IN EACH CATEGORY DESIGNATED TO BE REMOVED DURING CONSTRUCTION SHALL BE PERMITTED WITH CONSTRUCTION PLANS.
3. THE NUMBER OF REPLACEMENT TREES THAT WILL BE INSTALLED, WITHOUT THE IDENTIFICATION OF THE PARTICULAR LOCATION AT WHICH THE REPLACEMENT TREES SHALL BE INSTALLED, SHALL BE SUBMITTED WITH CONSTRUCTION PLANS.
4. SIGNIFICANT COTTONWOOD, HACKBERRY OR MESQUITE TREES REMOVED SHALL BE REPLACED AT A RATE OF 50% PER CALIPER INCH WITH AN APPROVED HARDWOOD TREE. ALL OTHER SIGNIFICANT TREES MUST BE REPLACED AT THE RATIOS DEFINED IN THE CITY'S SUBDIVISION ORDINANCE.
5. THE MINIMUM LOT AREA AND LOT WIDTH REQUIREMENTS (INCLUDING THE PERCENTAGE OF TOTAL LOTS WITHIN THE LAND PLAN THAT ARE PERMITTED TO BE OF SUCH MINIMUM LOT AREA AND LOT WIDTH CATEGORY, HEIGHT AND SETBACK REQUIREMENTS, LOT COVERAGE REQUIREMENTS, PARKING REQUIREMENTS, AND LANDSCAPING REQUIREMENTS FOR EACH LOT SHALL BE AS SET FORTH IN THE MINIMUM DEVELOPMENT STANDARDS FOR LOTS WITHIN THE LAND PLAN AND OUTSIDE THE CORPORATE BOUNDARIES OF THE CITY OR AS SET FORTH IN THE PUD VARIANCES FOR LOTS WITHIN THE PUD AND THE CORPORATE BOUNDARIES OF THE CITY.
6. LOTS SHALL NOT BE REQUIRED TO FACE A SIMILAR LOT ACROSS THE STREET.
7. SIDE LOT LINES SHALL NOT BE REQUIRED TO PROJECT AWAY FROM THE FRONT LOT LINE AT APPROXIMATELY RIGHT ANGLES TO STREET LINES AND RADIAL TO CURVED STREET LINES.
8. THE CONSTRUCTION OF SIDEWALKS IN RESIDENTIAL AND COMMERCIAL AREAS NEED NOT BE COMPLETED PRIOR TO FINAL APPROVAL AND ACCEPTANCE OF A FINAL PLAT, BUT MUST BE COMPLETED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR WITHIN 2 YEARS FROM THE APPROVAL OF THE FINAL PLAT. A COST ESTIMATE FOR THE CONSTRUCTION OF ANY SIDEWALKS IN RESIDENTIAL AREAS NOT CONSTRUCTED PRIOR TO THE FINAL APPROVAL AND ACCEPTANCE OF THE FINAL PLAT SHALL BE PREPARED AND A BOND FOR 110% OF SUCH COSTS SHALL BE POSTED WITH THE CITY. EACH YEAR THE DEVELOPER AND CITY MAY AGREE TO THE ADDITIONAL SIDEWALKS IN RESIDENTIAL AREAS THAT WERE COMPLETED DURING THE PREVIOUS YEAR AND REDUCE THE AMOUNT OF THE BOND TO REFLECT THE CONSTRUCTION COSTS OF THE SIDEWALKS THAT HAVE BEEN COMPLETED. SIDEWALKS IN RESIDENTIAL AREAS NOT COMPLETED PRIOR TO THE END OF THE 2-YEAR PERIOD SHALL BE COMPLETED BY THE DEVELOPER OR BY THE CITY WITH THE BOND FUNDS. FAILURE TO PROVIDE SUFFICIENT BONDS OR COMPLETE THE SIDEWALKS IN RESIDENTIAL AREAS SHALL NOT OBLIGATE THE CITY TO BUILD SIDEWALKS. THE CONSTRUCTION OF SIDEWALKS IN NON-RESIDENTIAL AREAS SHALL BE COMPLETED DURING SUBDIVISION CONSTRUCTION.
9. LOT FRONTAGE WIDTHS OF SINGLE-FAMILY LOTS SHALL BE AS FOLLOWS:  
A) NOT MORE THAN 45% OF SUCH LOTS, NOT INCLUDING CUL-DE-SAC LOTS, MAY HAVE A LOT FRONTAGE WIDTH OF NOT LESS THAN 40 FEET.  
B) 55% OR MORE OF SUCH LOTS, NOT INCLUDING CUL-DE-SAC LOTS, SHALL HAVE A LOT FRONTAGE WIDTH OF 50 FEET OR GREATER.  
C) ANY CUL-DE-SAC LOT SHALL HAVE A LOT FRONTAGE WIDTH OF NO LESS THAN 30 FEET.
10. THE MINIMUM SINGLE-FAMILY RESIDENTIAL LOT SHALL BE 6,000 SQUARE FEET.
11. FRONT SETBACKS FOR SINGLE-FAMILY RESIDENTIAL LOTS SHALL BE STAGGERED AS FOLLOWS:  
A) 40% OF ALL LOTS WITHIN THE PROPERTY SHALL HAVE A SET BACK OF 20 FEET FROM THE FRONT PROPERTY LINE.  
B) 20% OF ALL LOTS WITHIN THE PROPERTY SHALL HAVE A SET BACK OF 22.5 FEET FROM THE FRONT PROPERTY LINE.  
C) 20% OF ALL LOTS WITHIN THE PROPERTY SHALL HAVE A SET BACK OF 25 FEET FROM THE FRONT PROPERTY LINE.  
D) 20% OF ALL LOTS WITHIN THE PROPERTY SHALL HAVE A SET BACK OF 27.5 FEET FROM THE FRONT PROPERTY LINE.
12. SINGLE-FAMILY RESIDENTIAL LOTS HAVE A MINIMUM SIDE SET BACK OF FIVE (5) FEET FOR EACH LOT.
13. SINGLE-FAMILY RESIDENTIAL LOTS HAVE A MINIMUM REAR SET BACK OF TEN (10) FEET FOR EACH LOT.
14. VILLAGE CLUSTERS ARE DEFINED AS 1 LOT DEVELOPMENTS COMPRISED OF UP TO 10 DETACHED HOMES PER ACRE TO BE LEASED/SOLD BY THE CONDOMINIUM REGIME METHOD USING METES AND BOUNDS.
15. OFF-STREET PARKING SPACES AND LOADING FACILITIES FOR THE COMMERCIAL TRACTS HAVE BEEN CONTEMPLATED AND WILL MEET CITY OF AUSTIN TRANSPORTATION CRITERIA MANUAL DESIGN REQUIREMENTS.
16. EXISTING SITE TOPOGRAPHY CONTAINS RELATIVELY FLAT SLOPES RANGING FROM 1% TO 5%. PROPOSED ROADWAY GRADES WILL BE SUITABLE FOR EMERGENCY ACCESS AND WILL MEET CITY OF AUSTIN TRANSPORTATION CRITERIA MANUAL AND EMERGENCY SERVICE DISTRICT 12 REQUIREMENTS.
17. LANDSCAPING AND SCREENING WILL BE INTEGRATED INTO THE FINAL OVERALL SITE DESIGN AND WILL BE PROVIDED TO CREATE ADEQUATE BUFFERS TO SHIELD LIGHTS, NOISE, MOVEMENT OR ACTIVITIES FROM ADJACENT PROPERTIES.
18. NO DUPLEXES ARE ALLOWED IN THIS PUD.
19. THE DEVELOPMENT WILL BE IN ACCORDANCE WITH THE ENVIRONMENTAL ASSESSMENT FOR THE SITE.
20. CONSTRUCTION OF THE SHARED USE PATH ALONG BLAKE MANOR ROAD IS CONDITIONED UPON THE CITY'S APPROVAL OF THE TRAVIS COUNTY SPONSORED AND FUNDED LAGOS PUBLIC IMPROVEMENT DISTRICT (PID). THE SHARED USE PATH WILL BE CONSTRUCTED WITH THE ADJACENT CONSTRUCTION PLAN OR SITE PLAN IN PHASES.
21. THE WILDLIFE PRESERVE WILL BE MANAGED BY A WILDLIFE MANAGEMENT TEAM THROUGH THE DEVELOPER/OWNER AND/OR A 501C3 ENTITY AND SHALL BE MAINTAINED TO MEET THE REQUIREMENTS AS IDENTIFIED IN THE TEXAS PARKS AND WILDLIFE, WILDLIFE MANAGEMENT ACTIVITIES AND PRACTICES, COMPREHENSIVE WILDLIFE MANAGEMENT PLANNING GUIDELINES FOR THE POST OAK SAVANNAH AND BLACKLAND PRAIRIE ECOLOGICAL REGIONS, REVISED APRIL 2010.
22. THE DEVELOPER SHALL CONSTRUCT THE FOLLOWING IN AREA A-11 (PARKLAND OPEN SPACE, WILDLIFE MANAGEMENT PRESERVE): 40 AC/FT (MIN.) FISHERYLAKE DETENTION POND, 3,000 LF (MIN.) OF TRAILS FOR BICYCLE AND PEDESTRIAN USE, ONE GAZEBO, FISHING POINTS, PICNIC POINTS, AND HABITAT FOR WATERFOWL.
23. MINIMUM ON-SITE PARKING REQUIREMENTS FOR VILLAGE CLUSTERS SHALL BE TWO SPACES FOR EACH LIVING UNIT AND ONE-HALF SPACE FOR EACH ADDITIONAL BEDROOM ABOVE TWO PLUS 10% ADDITIONAL SPACES FOR VISITOR PARKING. TANDEM SPACES ARE ALLOWABLE. OFF-SITE PARKING TO MEET THIS PARKING REQUIREMENT IS SUBJECT TO APPROVAL BY THE CITY DEVELOPMENT SERVICES DEPARTMENT.

Kimley»Horn

© 2017 KIMLEY-HORN AND ASSOCIATES, INC.  
10818 JOLLYVILLE ROAD, AVALON IV, SUITE 300, AUSTIN, TX 78759  
PHONE: 512-418-1771 FAX: 512-418-1791  
WWW.KIMLEY-HORN.COM  
TEXAS REGISTERED ENGINEERING FIRM F-928

STATE OF TEXAS

ROBERT J. SMITH  
106319  
PROFESSIONAL ENGINEER

KHA PROJECT  
069241722

DATE  
JULY 2019

SCALE: AS SHOWN

DESIGNED BY: JDR

DRAWN BY: JDR

CHECKED BY: RJS

OVERALL PLAN

LAGOS PHASES 2-4  
CITY OF MANOR  
TRAVIS COUNTY, TEXAS

SHEET NUMBER  
2

REVISIONS

DATE

BY



**JAY ENGINEERING COMPANY, INC.**

P.O. Box 1220 (512) 259-3882  
Leander, TX 78646 Fax 259-8016  
Texas Registered Engineering Firm F-4780

Date: Tuesday, June 27, 2017

Alex Granados  
Kimley-Horn  
10814 Jollyville Road  
Austin TX  
alex.granados@kimley-horn.com

Permit Number 2017-P-1056-PP  
Job Address: , Manor, TX. 78653

Dear Alex Granados,

The first submittal of the Lagos Phase 2-4 Preliminary (*Preliminary Plan*) submitted by Kimley-Horn and received on April 02, 2020, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B.

**Engineer Review**

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

1. Mailing labels should be provided for property owners within three hundred (300) feet of the subdivision boundary.
2. On Sheet 2 of the submittal there is a label for 213' r.o.w. dedication near the intersection of Street A and E Brenham Street. It is unclear what is proposed for this area.
3. On Sheet 2 there are lots located near Lot 45 Block K that are marked differently. Clarification should be made as to what is being shown for those lots.
4. Section 22(c)(2)(i) of Subdivision Ordinance 263B requires that the existing property lines, including bearings and distances be shown.
5. On Sheet 8 there is a label for an 8" waterline, but no waterline is shown (near the intersection of Street A and E Brenham Street). There is also a fire hydrant shown that is not on a waterline.
6. Section 22(c)(2)(viii) of Subdivision Ordinance 263B requires that the locations, dimensions, names and descriptions of all existing streets be shown.
7. Section 22(c)(3)(iii) of Subdivision Ordinance 263B requires that the locations, dimensions, names, and description of all proposed streets be shown.
8. The Parkland Table on Sheet 3 should be verified. No required parkland was calculated. The Lagos Parkland Table should also be verified.
9. The Parkland Table lists 0.94 acres of parkland for Phases 2-4. The proposed parkland lots should be clearly labeled.



10. On Sheet 8 the stub outs for the future commercial sections should be labeled.
11. On Sheet 10 the forcemain should be shown in bold since it is proposed with this project.
12. On Sheet 11 stub outs for the future commercial should be labeled.
13. On Sheet 13 the sizes of the existing culverts and drainage swale should be labeled as is required by Section 22(c)(2)(iv) of Subdivision Ordinance 263B.14.
14. On Sheets 14-17 the sizes of all proposed storm drain pipes should be clearly labeled as required by Section 22(c)(3)(i) of Subdivision Ordinance 263B.
15. On Sheet 16 clarification should be made as to what is existing and what is proposed for the storm sewer lines that drain into the pond. Also, the storm sewer line does not line up with the storm sewer line and headwall shown on the northern part of the existing pond.
16. On Sheet 16 there is a label for Street N that is not in the correct place.
17. The lot numbers on Sheet 16 do not match lot numbers shown on other sheets.
18. Provide a copy of the TIA for the project as required by Section 22(c)(4)(iv).

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. Please include a comment response narrative indicating how comments have been addressed with your plan resubmittal. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

Additional comments may be generated as requested information is provided. Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.



August 10, 2017

Jay Engineering Company, Inc.  
P.O. Box 1220  
Leander, Texas 78646-1220

**RE:    *Permit Number 2017-P-1056***  
          ***Manor, Texas 78653***

To Whom It May Concern:

Please accept this Comment Response Letter for the above referenced project. This submittal is in response to the comments provided by the Jay Engineering Company, Inc. on August 7, 2017. The original comments have also been included below for reference.

Engineer Review

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

- ~~1. Mailing labels should be provided for property owners within three hundred (300) feet of the subdivision boundary.~~
- ~~2. On Sheet 2 of the submittal there is a label for 213' r.o.w. dedication near the intersection of Street A and E Brenham Street. It is unclear what is proposed for this area.~~
- ~~3. On Sheet 2 there are lots located near Lot 45 Block K that are marked differently. Clarification should be made as to what is being shown for those lots.~~
- ~~4. Section 22(c)(2)(i) of Subdivision Ordinance 263B requires that the existing property lines, including bearings and distances be shown.~~
- ~~5. On Sheet 8 there is a label for an 8" waterline, but no waterline is shown (near the intersection of Street A and E Brenham Street). There is also a fire hydrant shown that is not on a waterline.~~
- ~~6. Section 22(c)(2)(viii) of Subdivision Ordinance 263B requires that the locations, dimensions, names and descriptions of all existing streets be shown.~~
7. Section 22(c)(3)(iii) of Subdivision Ordinance 263B requires that the locations, dimensions, names, and description of all proposed streets be shown.

**Response:** The locations, dimensions, names, and description of all proposed streets are now shown, and shown on all sheets excluding sheets 12 & 13, which are PDF sheets of previous approvals.

~~8. The Parkland Table on Sheet 3 should be verified. No required parkland was calculated. The Lagos Parkland Table should also be verified.~~

~~9. The Parkland Table lists 0.94 acres of parkland for Phases 2-4. The proposed parkland lots should be clearly labeled.~~

~~10. On Sheet 8 the stub outs for the future commercial sections should be labeled.~~

~~11. On Sheet 10 the forcemain should be shown in bold since it is proposed with this project.~~

~~12. On Sheet 11 stub outs for the future commercial should be labeled.~~

~~13. On Sheet 13 the sizes of the existing culverts and drainage swale should be labeled as is required by Section 22(c)(2)(iv) of Subdivision Ordinance 263B.14.~~

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~~15. On Sheet 16 clarification should be made as to what is existing and what is proposed for the storm sewer lines that drain into the pond. Also, the storm sewer line does not line up with the storm sewer line and headwall shown on the northern part of the existing pond.~~

~~16. On Sheet 16 there is a label for Street N that is not in the correct place.~~

~~17. The lot numbers on Sheet 16 do not match lot numbers shown on other sheets.~~

18. Provide a copy of the TIA for the project as required by Section 22(c)(4)(iv).

Response: TIA is currently under review by City of Austin, Travis County, and City of Manor. An additional copy can be provided upon request.

19. the P.U.E. shown for the Commercial Lots located near E Brenham Street has different widths shown on Sheet 2 and Sheet 8.

Response: The P.U.E. has been updated to show the correct dimension on both sheets.

20. Lapoynor Street is misspelled.

Response: The spelling of Lapoynor Street has been revised.

21. Verify that the lengths of lots 1-4 on Block P are correct.

Response: The lengths of lots 1-4 on Block P have been verified to be correct.

Please feel free to contact me should you have any further questions or require additional information. I can be reached directly at (512) 418-4517 or via email at [rob.smith@kimley-horn.com](mailto:rob.smith@kimley-horn.com).



Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.

A handwritten signature in blue ink, appearing to read "R. J. Smith", with a long horizontal flourish extending to the right.

Robert J. Smith, P.E.  
Senior Project Manager

Date: Monday, August 7, 2017

Alex Granados  
Kimley-Horn  
10814 Jollyville Road  
Austin TX  
alex.granados@kimley-horn.com

Permit Number 2017-P-1056-PP  
Job Address: , Manor 78653

Dear Alex Granados,

The subsequent submittal of the Lagos Phase 2-4 Preliminary submitted by Kimley-Horn and received on April 02, 2020, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):

#### **Engineer Review**

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

1. ~~Mailing labels should be provided for property owners within three hundred (300) feet of the subdivision boundary.~~
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- 20. Lapoynor Street is misspelled.**
- 21. Verify that the lengths of lots 1-4 on Block P are correct.**

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (512) 259-3882 ex. 307, or by e-mail at [pgray@jaeco.net](mailto:pgray@jaeco.net).

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.





July 3<sup>rd</sup>, 2019

Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.  
P.O. Box 1220  
Leander, Texas 78646-1220

**RE: Permit No. 2017-P-1056  
Manor, Texas 78653  
Lagos Phase 2-4 Preliminary**

Dear Pauline Gray, P.E.:

Please accept this Comment Response Letter in reply to Jay Engineering Company's review dated January 11th, 2018. The original comments have been included for reference and all replies are marked in red.

#### **Engineer Review**

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

1. ~~Mailing labels should be provided for property owners within three hundred (300) feet of the subdivision boundary.~~
2. ~~On Sheet 2 of the submittal there is a label for 213' r.o.w. dedication near the intersection of Street A and E Brenham Street. It is unclear what is proposed for this area.~~
3. ~~On Sheet 2 there are lots located near Lot 45 Block K that are marked differently. Clarification should be made as to what is being shown for those lots.~~
4. ~~Section 22(c)(2)(i) of Subdivision Ordinance 263B requires that the existing property lines, including bearings and distances be shown.~~
5. ~~On Sheet 8 there is a label for an 8" waterline, but no waterline is shown (near the intersection of Street A and E Brenham Street). There is also a fire hydrant shown that is not on a waterline.~~
6. ~~Section 22(c)(2)(viii) of Subdivision Ordinance 263B requires that the locations, dimensions, names and descriptions of all existing streets be shown.~~
7. **Section 22(c)(3)(iii) of Subdivision Ordinance 263B requires that the locations, dimensions, names, and description of all proposed streets to be shown. Street names should be provided.**
8. ~~The Parkland Table on Sheet 3 should be verified. No required parkland was calculated. The Lagos Parkland Table should also be verified.~~
9. ~~The Parkland Table lists 0.94 acres of parkland for Phases 2-4. The proposed lots should be clearly labeled.~~
10. ~~On Sheet 8 the stub outs for the future commercial sections should be labeled.~~
11. ~~On Sheet 10 the forcemain should be shown in bold since it is proposed with this project.~~

- ~~12. On Sheet 11 stub outs for the future commercial should be labeled.~~
- ~~13. On Sheet 13 the sizes of the existing culverts and drainage swale should be labeled as is required by Section 22(c)(2)(iv) of Subdivision Ordinance 263B.14.~~
- ~~14. On Sheets 14-17 the sizes of all proposed storm drain pipes should be clearly labeled as required by Section 22(c)(3)(i) of Subdivision Ordinance 263B.~~
- ~~15. On Sheet 16 clarification should be made as to what is existing and what is proposed for the storm sewer lines that drain into the pond. Also, the storm sewer line does not line up with the storm sewer line and headwall shown on the northern part of the existing pond.~~
- ~~16. On Sheet 16 there is a label for Street N that is not in the correct place.~~
- ~~17. The lot numbers on Sheet 16 do not match lot numbers shown on other sheets.~~
- 18. Provide a copy of the TIA for the project as required by Section 22(c)(4)(iv). The TIA will need to be approved prior to preliminary plat approval.**

*Response:* While the TIA is still in for review we wanted to resubmit because of a couple updates. The PUD that this property resides within was updated on October 17<sup>th</sup>, 2018 and the updates affecting this project have been reflected in the plans. The updated PUD has been attached with this update. Additionally, the Manor City Limits have been revised since our last update and is now reflected in the plans.

- ~~19. The P.U.E. shown for the Commercial Lots located near E Brenham Street has different widths shown on Sheet 2 and Sheet 8.~~
- ~~20. Lapoyner Street is misspelled.~~
- ~~21. Verify that the lengths of lots 1-4 on Block P are correct. The length of Lot 2 on Block P appears to be greater than 50 feet which is what the label lists.~~
- ~~22. A pavement width of 48 feet is shown for Murchison. Clarify if the measurement from curb back to curb back. Per the approved PUD the pavement width on a 70 foot right of way is to be 49 feet from curb back to curb back. The pavement width for a 50 foot right of way should be 31 feet from curb back to curb back.~~
- ~~23. Lot 58 on Block C is listed as an open space/drainage lot. Provide clarification as to why the proposed storm sewer drainage is not running along the street and entering the pond near Murchison.~~

Please contact me at 512-418-1771 if additional information is required.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



Robert J. Smith, P.E.  
Senior Project Manager

Date: Friday, September 1, 2017

Alex Granados  
Kimley-Horn  
10814 Jollyville Road  
Austin TX  
alex.granados@kimley-horn.com

Permit Number 2017-P-1056-PP  
Job Address: , Manor 78653

Dear Alex Granados,

The subsequent submittal of the Lagos Phase 2-4 Preliminary submitted by Kimley-Horn and received on April 02, 2020, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):

#### **Engineer Review**

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

1. ~~Mailing labels should be provided for property owners within three hundred (300) feet of the subdivision boundary.~~
2. ~~On Sheet 2 of the submittal there is a label for 213' r.o.w. dedication near the intersection of Street A and E-Brenham Street. It is unclear what is proposed for this area.~~
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- ~~14. On Sheets 14-17 the sizes of all proposed storm drain pipes should be clearly labeled as required by Section 22(c)(3)(i) of Subdivision Ordinance 263B.~~
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- 23. Lot 58 on Block C is listed as an open space/drainage lot. Provide clarification as to why the proposed storm sewer drainage is not running along the street and entering the pond near Murchison.**

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

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Thank you,

A handwritten signature in blue ink, reading "Pauline M. Gray". The signature is fluid and cursive, with the first name "Pauline" being more prominent than the last name "Gray".

Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.



August 14th, 2019

Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.  
P.O. Box 1220  
Leander, Texas 78646-1220

**RE: Permit No. 2017-P-1056  
Manor, Texas 78653  
Lagos Phase 2-4 Preliminary**

Dear Pauline Gray, P.E.:

Please accept this Comment Response Letter in reply to Jay Engineering Company's review dated July 31st, 2018. The original comments have been included for reference and all replies are marked in red. There have been no changes to the plans since our last update.

### Engineer Review

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

- ~~1. Mailing labels should be provided for property owners within three hundred (300) feet of the subdivision boundary.~~
- ~~2. On Sheet 2 of the submittal there is a label for 213' r.o.w. dedication near the intersection of Street A and E Brenham Street. It is unclear what is proposed for this area.~~
- ~~3. On Sheet 2 there are lots located near Lot 45 Block K that are marked differently. Clarification should be made as to what is being shown for those lots.~~
- ~~4. Section 22(c)(2)(i) of Subdivision Ordinance 263B requires that the existing property lines, including bearings and distances be shown.~~
- ~~5. On Sheet 8 there is a label for an 8" waterline, but no waterline is shown (near the intersection of Street A and E Brenham Street). There is also a fire hydrant shown that is not on a waterline.~~
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- ~~9. The Parkland Table lists 0.94 acres of parkland for Phases 2-4. The proposed lots should be clearly labeled.~~
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- ~~16. On Sheet 16 there is a label for Street N that is not in the correct place.~~
- ~~17. The lot numbers on Sheet 16 do not match lot numbers shown on other sheets.~~
- 18. Provide a copy of the TIA for the project as required by Section 22(c)(4)(iv). The TIA will need to be approved prior to preliminary plat approval.**

*Response:* The TIA is still in for review and will be provided once approved.

- ~~19. The P.U.E. shown for the Commercial Lots located near E Brenham Street has different widths shown on Sheet 2 and Sheet 8.~~
- ~~20. Lapoyner Street is misspelled.~~
- ~~21. Verify that the lengths of lots 1-4 on Block P are correct. The length of Lot 2 on Block P appears to be greater than 50 feet which is what the label lists.~~
- ~~22. A pavement width of 48 feet is shown for Murchison. Clarify if the measurement from curb back to curb back. Per the approved PUD the pavement width on a 70 foot right of way is to be 49 feet from curb back to curb back. The pavement width for a 50 foot right of way should be 31 feet from curb back to curb back.~~
- ~~23. Lot 58 on Block C is listed as an open space/drainage lot. Provide clarification as to why the proposed storm sewer drainage is not running along the street and entering the pond near Murchison.~~
- 24. The future right-of-way reserve that was shown on the previous plans has been removed.**

*Response:* This item was removed from the Preliminary Plan so as to match the approved PUD which is submitted with this update. The ROW reserve is not necessary now that the TxDOT alignment of FM 973 is no longer going through the Lagos Development (TxDOT has realigned FM973 to the East).

**25. The 45' PUE shown on the previous submitted plan set has been removed.**

**Response:** This item was removed from the Preliminary Plan so as to match the approved PUD which is submitted with this update. The PUE is not necessary as the PUD was approved with the 70' ROW in place of the PUE which is shown on the attached PUD document.

Please contact me at 512-418-1771 if additional information is required.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.

A handwritten signature in blue ink, appearing to read "R. J. Smith", with a long horizontal flourish extending to the right.

Robert J. Smith, P.E.  
Senior Project Manager

**JAY ENGINEERING COMPANY, INC.**

*P.O. Box 1220 (512) 259-3882  
Leander, TX 78646 Fax 259-8016  
Texas Registered Engineering Firm F-4780*

Date: Thursday, January 11, 2018

Alex Granados  
Kimley-Horn  
10814 Jollyville Road  
Austin TX  
alex.granados@kimley-horn.com

Permit Number 2017-P-1056-PP  
Job Address: , Manor 78653

Dear Alex Granados,

The subsequent submittal of the Lagos Phase 2-4 Preliminary submitted by Kimley-Horn and received on April 02, 2020, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):

## Engineer Review

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

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2. On Sheet 2 of the submittal there is a label for 213' r.o.w. dedication near the intersection of Street A and E Brenham Street. It is unclear what is proposed for this area.
3. On Sheet 2 there are lots located near Lot 45 Block K that are marked differently. Clarification should be made as to what is being shown for those lots.
4. Section 22(c)(2)(i) of Subdivision Ordinance 263B requires that the existing property lines, including bearings and distances be shown.
5. On Sheet 8 there is a label for an 8" waterline, but no waterline is shown (near the intersection of Street A and E Brenham Street). There is also a fire hydrant shown that is not on a waterline.
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**~~19. the P.U.E. shown for the Commercial Lots located near E Brenham Street has different widths shown on Sheet 2 and Sheet 8.~~**

**~~20. Lapoynor Street is misspelled.~~**

**~~21. Verify that the lengths of lots 1-4 on Block P are correct. The length of Lot 2 on Block P appears to be greater than 50 feet which is what the label lists.~~**

**~~22. A pavement width of 48 feet is shown for Murchison. Clarify if the measurement is from curb back to curb back. Per the approved PUD the pavement width on a 70 foot right of way is to be 49 feet from curb back to curb back. The pavement width for a 50 foot right of way should be 31 feet from curb back to curb back.~~**

**~~23. Lot 58 on Block C is listed as an open space/drainage lot. Provide clarification as to why the proposed storm sewer drainage is not running along the street and entering the pond near Murchison.~~**

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

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Thank you,



Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.



April 1, 2020

Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.  
P.O. Box 1220  
Leander, Texas 78646-1220

**RE: Permit No. 2017-P-1056  
Manor, Texas 78653  
Lagos Phase 2-4 Preliminary**

Dear Pauline Gray, P.E.:

Please accept this Comment Response Letter in reply to Jay Engineering Company's review dated September 10, 2019. The original comments have been included for reference and all replies are marked in red. There have been no changes to the plans since our last update.

### Engineer Review

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at [pgray@jaeco.net](mailto:pgray@jaeco.net).

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- 18. Provide a copy of the TIA for the project as required by Section 22(c)(4)(iv). The TIA will need to be approved prior to preliminary plat approval.**

*Response:* The TIA and the TIA approval have been attached.

- ~~19. The P.U.E. shown for the Commercial Lots located near E Brenham Street has different widths shown on Sheet 2 and Sheet 8.~~
- ~~20. Lapoyner Street is misspelled.~~
- ~~21. Verify that the lengths of lots 1-4 on Block P are correct. The length of Lot 2 on Block P appears to be greater than 50 feet which is what the label lists.~~
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Please contact me at 512-418-1771 if additional information is required.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



Robert J. Smith, P.E.  
Senior Project Manager

**JAY ENGINEERING COMPANY, INC.**

*P.O. Box 1220 (512) 259-3882  
Leander, TX 78646 Fax 259-8016  
Texas Registered Engineering Firm F-4780*

Date: Wednesday, July 31, 2019

Alex Granados  
Kimley-Horn  
10814 Jollyville Road  
Austin TX  
alex.granados@kimley-horn.com

Permit Number 2017-P-1056-PP  
Job Address: , Manor 78653

Dear Alex Granados,

The subsequent submittal of the Lagos Phase 2-4 Preliminary submitted by Kimley-Horn and received on April 02, 2020, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):



## Engineer Review

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**~~20. Lapoynor Street is misspelled.~~**

**~~21. Verify that the lengths of lots 1-4 on Block P are correct. The length of Lot 2 on Block P appears to be greater than 50 feet which is what the label lists.~~**

**~~22. A pavement width of 48 feet is shown for Murchison. Clarify if the measurement is from curb back to curb back. Per the approved PUD the pavement width on a 70 foot right of way is to be 49 feet from curb back to curb back. The pavement width for a 50 foot right of way should be 31 feet from curb back to curb back.~~**

**~~23. Lot 58 on Block C is listed as an open space/drainage lot. Provide clarification as to why the proposed storm sewer drainage is not running along the street and entering the pond near Murchison.~~**

**24. The future right-of-way reserve that was shown on the previous plans has been removed.**

**25. The 45' PUE shown on the previous submitted plan set has been removed.**

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (512) 259-3882 ex. 307, or by e-mail at [pgray@jaeco.net](mailto:pgray@jaeco.net).

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.

Date: Tuesday, September 10, 2019

Alex Granados  
Kimley-Horn  
10814 Jollyville Road  
Austin TX  
alex.granados@kimley-horn.com

Permit Number 2017-P-1056-PP  
Job Address: , Manor 78653

Dear Alex Granados,

The subsequent submittal of the Lagos Phase 2-4 Preliminary submitted by Kimley-Horn and received on April 02, 2020, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):

#### **Engineer Review**

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

1. Mailing labels should be provided for property owners within three hundred (300) feet of the subdivision boundary.
2. On Sheet 2 of the submittal there is a label for 213' r.o.w. dedication near the intersection of Street A and E-Brenham Street. It is unclear what is proposed for this area.
3. On Sheet 2 there are lots located near Lot 45 Block K that are marked differently. Clarification should be made as to what is being shown for those lots.
4. Section 22(c)(2)(i) of Subdivision Ordinance 263B requires that the existing property lines, including bearings and distances be shown.
5. On Sheet 8 there is a label for an 8" waterline, but no waterline is shown (near the intersection of Street A and E-Brenham Street). There is also a fire hydrant shown that is not on a waterline.
6. Section 22(c)(2)(viii) of Subdivision Ordinance 263B requires that the locations, dimensions, names and descriptions of all existing streets be shown.
- 7. Section 22(c)(3)(iii) of Subdivision Ordinance 263B requires that the locations, dimensions, names, and description of all proposed streets be shown. Street names should be provided.**
8. The Parkland Table on Sheet 3 should be verified. No required parkland was calculated. The Lagos Parkland Table should also be verified.
9. The Parkland Table lists 0.94 acres of parkland for Phases 2-4. The proposed parkland lots should be clearly labeled.
10. On Sheet 8 the stub outs for the future commercial sections should be labeled.

- ~~11. On Sheet 10 the forcemain should be shown in bold since it is proposed with this project.~~
- ~~12. On Sheet 11 stub outs for the future commercial should be labeled.~~
- ~~13. On Sheet 13 the sizes of the existing culverts and drainage swale should be labeled as is required by Section 22(c)(2)(iv) of Subdivision Ordinance 263B.14.~~
- ~~14. On Sheets 14-17 the sizes of all proposed storm drain pipes should be clearly labeled as required by Section 22(c)(3)(i) of Subdivision Ordinance 263B.~~
- ~~15. On Sheet 16 clarification should be made as to what is existing and what is proposed for the storm sewer lines that drain into the pond. Also, the storm sewer line does not line up with the storm sewer line and headwall shown on the northern part of the existing pond.~~
- ~~16. On Sheet 16 there is a label for Street N that is not in the correct place.~~
- ~~17. The lot numbers on Sheet 16 do not match lot numbers shown on other sheets.~~
- 18. Provide a copy of the TIA for the project as required by Section 22(c)(4)(iv). The TIA will need to be approved prior to preliminary plat approval.**
- ~~19. the P.U.E. shown for the Commercial Lots located near E Brenham Street has different widths shown on Sheet 2 and Sheet 8.~~
- ~~20. Lapoynor Street is misspelled.~~
- ~~21. Verify that the lengths of lots 1-4 on Block P are correct. The length of Lot 2 on Block P appears to be greater than 50 feet which is what the label lists.~~
- ~~22. A pavement width of 48 feet is shown for Murchison. Clarify if the measurement is from curb back to curb back. Per the approved PUD the pavement width on a 70 foot right of way is to be 49 feet from curb back to curb back. The pavement width for a 50 foot right of way should be 31 feet from curb back to curb back.~~
- ~~23. Lot 58 on Block C is listed as an open space/drainage lot. Provide clarification as to why the proposed storm sewer drainage is not running along the street and entering the pond near Murchison.~~
- ~~24. The future right of way reserve that was shown on the previous plans has been removed.~~
- ~~25. The 45' PUE shown on the previous submitted plan set has been removed.~~

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (512) 259-3882 ex. 307, or by e-mail at [pgray@jaeco.net](mailto:pgray@jaeco.net).

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Thank you,



A handwritten signature in blue ink, reading "Pauline M. Gray". The signature is fluid and cursive, with the first name "Pauline" and last name "Gray" clearly legible, and "M." as a middle initial.

Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.

**EXHIBIT "B"**  
(Transportation Mitigation)

<b>Int#</b>	<b>Intersection</b>	<b>Approach</b>	<b>Mitigation Measure to be constructed by the developer</b>
8	Lexington St. (FM 973/Loop 212) at Parsons St.	West Leg	Widen west leg for additional NBL receiving lane to S. Bastrop St. ≈700'
		NB	Add 300' left turn lane w/ a 50' taper
		NB	Add 200' right turn lane w/ a 50' taper
		EB	Add 200' right turn lane w/ a 50' taper
		SB	Add 200' right turn lane w/ a 50' taper
9	Lexington St. (FM 973/Loop 212) at Brenham St.	SB	Add 300' left turn lane w/ a 50' taper
		NB	Add 300' left turn lane w/ a 50' taper
10	Brenham St. at Marcos St.	SB	Add 300' left turn lane w/ a 50' taper
		NB	Driveway to be built w/ left turn lane
12	Lexington St. (FM 973/Loop 212) at Lapoynor St.	All	Install traffic signal when warranted
15	Old FM 973 at Dwy. 2	All	Install traffic signal when warranted
16	Old FM 973 at Dwy. 1	All	Install traffic signal when warranted
17	Blake Manor at Wildhorse Connector	ALL	Install traffic signal when warranted

Donation agreement(s) providing for the above-listed mitigations on TxDOT facilities are required. The mitigations at Brenham and San Marcos Street are to be constructed by the developer at the time of construction of the intersecting Lagos subdivision street. Int#s are from the TIA.

**JAY ENGINEERING COMPANY, INC.**

*P.O. Box 1220 (512) 259-3882  
Leander, TX 78646 Fax 259-8016  
Texas Registered Engineering Firm F-4780*

Date: Wednesday, April 15, 2020

Alex Granados  
Kimley-Horn  
10814 Jollyville Road  
Austin TX  
alex.granados@kimley-horn.com

Permit Number 2017-P-1056-PP  
Job Address: , Manor 78653

Dear Alex Granados,

We have conducted a review of the preliminary plat for the above-referenced project, submitted by Alex Granados and received by our office on April 02, 2020, for conformance with the City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B. The Plans appear to be in general compliance with City Ordinance requirements and we therefore take no exception to their approval as presented.

**Please submit a hard copy of the cover sheet to Scott Dunlop at the City of Manor for signatures. A copy of the signed cover sheet will be uploaded under project files on the my permit now website.**

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance. Please call if you have any questions or need additional information.

Sincerely,



Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.



## AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 13, 2020

PREPARED BY: Scott Dunlop, Assistant Development Director

DEPARTMENT: Development Services

---

### AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Preliminary Plat for Lagos Subdivision Phase 5, forty-four (44) lots on 28.62 acres more or less, and being located near N FM 973 and Murchison Street, Manor, TX. Applicant: Kimley-Horn & Associates. Owner: 706 Investment Partnership, LTD

---

### BACKGROUND/SUMMARY:

This is the preliminary plat of the final phase of Lagos within Manor's city limits. It has been approved by our engineers.

PRESENTATION: ☐ YES ☐ NO

ATTACHMENTS: ☐ YES (IF YES, LIST IN ORDER TO BE PRESENTED) ☐ NO

Letter of Intent

Plat

Engineer Comments

TIA Mitigations

Conformance Letter

---

### STAFF RECOMMENDATION:

It is City staff's recommendation that the Planning and Zoning Commission approve a Preliminary Plat for Lagos Subdivision Phase 5, forty-four (44) lots on 28.62 acres more or less, and being located near N FM 973 and Murchison Street, Manor, TX.

PLANNING & ZONING COMMISSION: ☐ RECOMMENDED APPROVAL ☐ DISAPPROVAL ☐ NONE



December 4<sup>th</sup>, 2018

City of Manor  
Planning and Development Review Department  
105 E. Eggleston Street  
Manor, Texas 78653

**Re:    *Summary Letter – Lagos Phase 5  
Preliminary Plat Application  
Southeast Corner of Lexington Street and Blake Manor Road  
Manor, Texas 78653***

To Whom It May Concern:

The proposed Lagos Phase 5 development is located near the southeast corner of Lexington Street and Blake Manor Road in Manor, Texas. The proposed preliminary plat is approximately 29 acres. The site is currently undeveloped.

The proposed development includes the construction of approximately 40 single-family residential units, 7.7 acres of village clusters with a density of approximately 5 units/acre, approximately 5 acres of commercial development, approximately 1,800 linear feet of roadway, sidewalks, landscaping, stormwater management infrastructure, water, and wastewater improvements. Water and wastewater service for the development will be provided by existing adjacent City of Manor water and wastewater lines. This property is a part of the Lagos PUD established on June 15, 2016 under ordinance number 441. As such, this development is bound to the development standards outlined in the PUD and the City of Manor code at the time of its implementation.

This project is located within the Gilleland Creek Watershed, classified as a Suburban Watershed within the City of Austin Desired Development Zone. No portion of the site is located in the Federal Emergency Management Agency's 100-year floodplain according to Flood Insurance Rate Map #48453C0485J, Travis County, Texas and incorporated areas, dated August 18, 2014.

Runoff from the proposed development is intended to be detained in the Phase 1 detention pond to the west of the property. The detention pond has been sized to capture and detain the proposed impervious cover for all phases of the Lagos Manor PUD. Runoff will be released from the pond so that the peak flow at the point of analysis "A" to an existing tributary of Gilleland Creek does not exceed existing conditions. Additional details regarding these facilities are provided in the Engineer's Report submitted with this package.

If you have any questions or comments regarding this request, please contact me at 512-418-1771.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



Robert J. Smith, P.E.  
Associate

Plotted By: Walker, Jordan (Austin) Date: July 03, 2019 12:28:11pm File Path: K:\AUS-Civil\069241722 Lagos Manor\Drawings\Preliminary Plat\PHASE 5\Cov\PlanSheets\C-Cover\_Sheet.dwg  
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

PRELIMINARY PLAT  
FOR  
**LAGOS**  
**PHASE 5**  
CITY OF MANOR, TRAVIS COUNTY COUNTY, TEXAS

GENERAL NOTES:

1. THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF MANOR, FULL PURPOSE ANNEXATION, AND IS DESIGNATED AS A PLANNED UNIT DEVELOPMENT (PUD) SIGNED BY THE MANOR CITY COUNCIL ON OCTOBER 17TH, 2018.
2. THE DETENTION POND AND ASSOCIATED DRAINAGE DESIGN HAS BEEN SIZED TO MITIGATE DEVELOPED RUNOFF FOR ALL LAND USES INCLUDED WITHIN THE BOUNDARIES OF THE LAGOS PLANNED UNIT DEVELOPMENT AS APPROVED ON OCTOBER 17TH, 2018.
3. NO PORTION OF THIS DEVELOPMENT LIES WITHIN THE 100-YEAR FLOODPLAIN, AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAP # 48453C0485J, DATED AUGUST 18, 2014.
4. PARKLAND DEDICATION REQUIREMENTS WERE SATISFIED BY EARLIER PHASES OF THE SUBDIVISION.

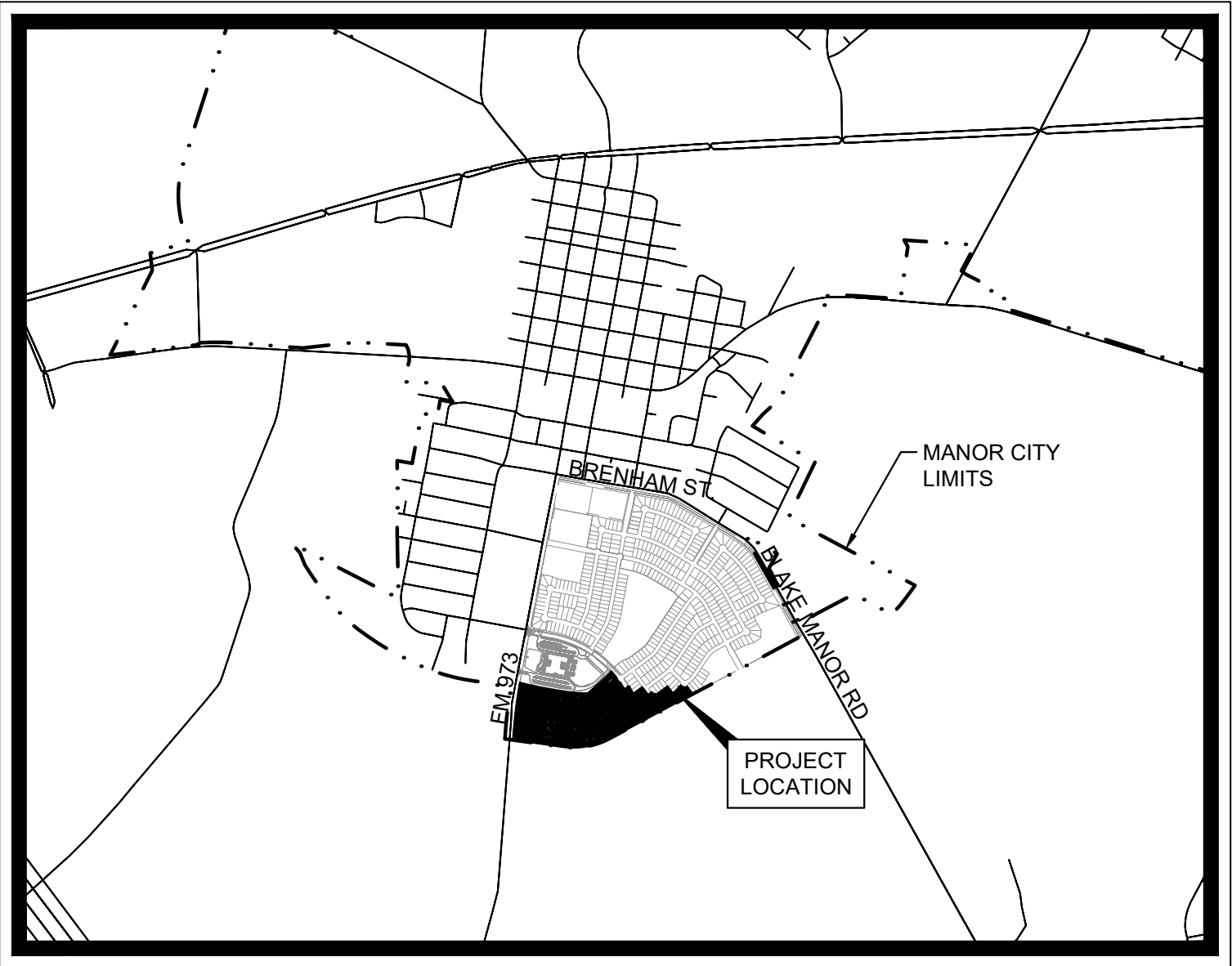
ENGINEER / SURVEYOR

**Kimley»Horn**

10814 JOLLYVILLE ROAD STATE OF TEXAS  
AVALLON IV, SUITE 300 REGISTRATION NO. F-928  
AUSTIN, TEXAS 78759  
PH. (512) 418-1771  
CONTACT: ROBERT J. SMITH, P.E.

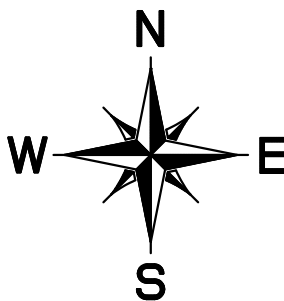
OWNER/DEVELOPER

706 INVESTMENT PARTNERSHIP, LTD.  
9900 HIGHWAY 290 EAST  
MANOR, TEXAS 78653  
TEL: 512.327.7415  
CONTACT: DANNY BURNETT



VICINITY MAP

SCALE: 1" = 2,000'



SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	PRELIMINARY PLAN
3	UTILITY AND TREE PLAN
4	APPROVED OVERALL EXISTING DRAINAGE LAYOUT
5	OVERALL PROPOSED DRAINAGE LAYOUT-PHASE 5
6	PROPOSED DRAINAGE LAYOUT

LEGAL DESCRIPTION

28.62 ACRES OF LAND LOCATED IN THE JAMES MANOR SURVEY NO. 39, ABSTRACT NO. 528, JAMES MANOR SURVEY NO. 40, ABSTRACT NO. 566, AND CALVIN BARKER SURVEY NO. 38, ABSTRACT NO. 58, CITY OF MANOR, TRAVIS COUNTY, TEXAS.

APPROVAL AND AUTHORIZED FOR RECORD BY THE CITY COUNCIL FOR THE CITY OF MANOR, TEXAS.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

BY: \_\_\_\_\_  
HONORABLE MAYOR RITA G. JONSE  
MAYOR OF THE CITY OF MANOR, TEXAS

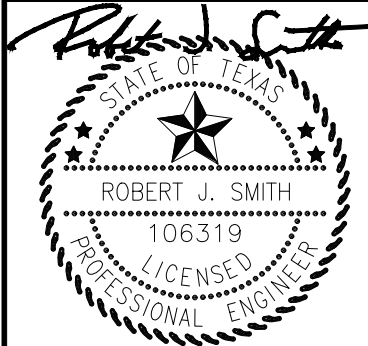
THIS PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MANOR, TEXAS, AND IS HEREBY RECOMMENDED FOR APPROVAL BY THE CITY OF COUNCIL.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

BY: \_\_\_\_\_  
WILLIAM MEYERS, CHAIRPERSON

**Kimley»Horn**

© 2018 KIMLEY-HORN AND ASSOCIATES, INC.  
10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 300, AUSTIN, TX 78759  
PHONE: 512-418-1771 FAX: 512-418-1791  
WWW.KIMLEY-HORN.COM  
TEXAS REGISTERED ENGINEERING FIRM F-928



07/03/2019

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
069241722	JULY 2019	AS SHOWN	KJB	JMW	RJS

COVER SHEET

LAGOS  
PHASE 5  
CITY OF MANOR  
TRAVIS COUNTY, TEXAS

SHEET NUMBER  
1

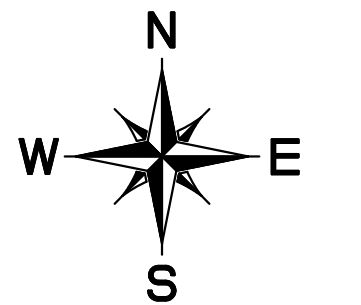
PRELIMINARY PLAN

KHA PROJECT NO. 069241722

LAGOS - PHASE 5



This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on



0 100' 200'

GRAPHIC SCALE 100'

# LAGOS PHASE 5

## 44 LOTS

## LAGOS PARKLAND TABLE

\*\* THE CITY IS TO OWN LOT 2, BLOCK R AND THE HOA IS TO MAINTAIN.

NO PORTION OF THIS SITE LIES WITHIN THE BOUNDARIES OF THE 100 YEAR FLOODPLAIN AS SHOWN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 48453C0485J, EFFECTIVE DATE AUGUST 18, 2014, TRAVIS COUNTY, TEXAS AND INCORPORATED AREAS.

1. ALL SINGLE-FAMILY LOTS EXCEED 6,000 SQUARE FEET MINIMUM LOT AREA REQUIRED PER DEVELOPMENT AGREEMENT.
2. ALL PAVEMENT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.

LOT TYPE SUMMARY TABLE					
PHASE	TYPE				TOTAL
	A	B	C	D	
1	47	24	23	24	118
2 - 4	136	68	68	68	340
5	16	8	7	8	39
TOTAL LOTS	199	100	98	100	497
PERCENT (%)	40%	20%	20%	20%	100%

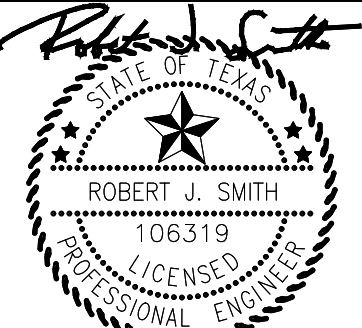
1. AN AERIAL PHOTOGRAPH MAY BE SUBMITTED AT THE PRELIMINARY PLAT STAGE RATHER THAN A TREE SURVEY.
2. AN INVENTORY OF SIGNIFICANT TREES THAT IDENTIFIES THE NUMBER OF SIGNIFICANT TREES BY CATEGORY (TREES 18 INCHES IN CALIPER OR LARGER IN TRUNK BETWEEN 8 AND 10 INCHES IN CALIPER) TO REMAIN DURING CONSTRUCTION AND THE NUMBER OF SIGNIFICANT TREES IN EACH CATEGORY DESIGNATED TO BE REMOVED DURING CONSTRUCTION SHALL BE PERMITTED WITH CONSTRUCTION PLANS.
3. THE NUMBER OF REPLACEMENT TREES THAT WILL BE INSTALLED, WITHOUT THE IDENTIFICATION OF THE PARTICULAR LOCATION AT WHICH THE REPLACEMENT TREES SHALL BE INSTALLED, SHALL BE SUBMITTED WITH CONSTRUCTION PLANS.
4. SIGNIFICANT COTTONWOOD, HACKBERRY OR MESQUITE TREES REMOVED SHALL BE REPLACED AT A RATE OF 50% PER CALIPER INCH WITH AN APPROVED HARDWOOD TREE. ALL OTHER SIGNIFICANT TREES MUST BE REPLACED AT THE RATIOS DEFINED IN THE CITY'S SUBDIVISION ORDINANCE.
5. THE MINIMUM LOT AREA AND LOT WIDTH REQUIREMENTS (INCLUDING THE PERCENTAGE OF TOTAL LOTS WITHIN THE LAND PLAN THAT ARE PERMITTED TO BE OF SUCH MINIMUM LOT AREA AND LOT WIDTH CATEGORY), HEIGHT AND SETBACK REQUIREMENTS, LOT COVERAGE REQUIREMENTS, PARKING REQUIREMENTS, AND LANDSCAPING REQUIREMENTS FOR EACH LOT SHALL BE AS SET FORTH IN THE MINIMUM DEVELOPMENT STANDARDS FOR LOTS WITHIN THE LAND PLAN AND OUTSIDE THE CORPORATE BOUNDARIES OF THE CITY OR AS SET FORTH IN THE PLAT VARIANCES FOR LOTS WITHIN THE PUD AND THE CORPORATE BOUNDARIES OF THE CITY.
6. LOTS SHALL NOT BE REQUIRED TO FACE A SIMILAR LOT ACROSS THE STREET.
7. SIDE LOT LINES SHALL NOT BE REQUIRED TO PROJECT AWAY FROM THE FRONT LOT LINE AT APPROXIMATELY RIGHT ANGLES TO STREET LINES AND RADIAL TO CURVED STREET LINES.
8. THE CONSTRUCTION OF SIDEWALKS IN RESIDENTIAL AND COMMERCIAL AREAS NEED NOT BE COMPLETED PRIOR TO FINAL APPROVAL AND ACCEPTANCE OF A FINAL PLAT, BUT MUST BE COMPLETED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR WITHIN 2 YEARS FROM THE APPROVAL OF THE FINAL PLAT. A COST ESTIMATE FOR THE CONSTRUCTION OF ANY SIDEWALKS IN RESIDENTIAL AREAS NOT CONSTRUCTED PRIOR TO THE FINAL APPROVAL AND ACCEPTANCE OF THE FINAL PLAT SHALL BE PREPARED AND A BOND FOR 110% OF SUCH COSTS SHALL BE POSTED WITH THE CITY. EACH DEVELOPER/OWNER/OWNER'S AGENT SHALL AGREE TO THE ADDITIONAL SIDEWALKS IN RESIDENTIAL AREAS THAT WERE COMPLETED DURING THE PREVIOUS YEAR AND REDUCE THE AMOUNT OF THE BOND TO REFLECT THE CONSTRUCTION COSTS OF THE SIDEWALKS THAT HAVE BEEN COMPLETED. SIDEWALKS IN RESIDENTIAL AREAS NOT COMPLETED PRIOR TO THE END OF THE 2-YEAR PERIOD SHALL BE COMPLETED BY THE DEVELOPER OR BY THE CITY WITH THE BOND FUNDS, FAILURE TO PROVIDE SUFFICIENT BONDS OR COMPLETE THE SIDEWALKS IN RESIDENTIAL AREAS SHALL NOT OBLIGATE THE CITY TO BUILD SIDEWALKS. THE CONSTRUCTION OF SIDEWALKS IN NON-RESIDENTIAL AREAS SHALL BE COMPLETED DURING SUBDIVISION CONSTRUCTION.
9. LOT FRONTAGE WIDTHS OF SINGLE-FAMILY LOTS SHALL BE AS FOLLOWS:
  - A) THOSE LOTS THAT, NOT INCLUDING THE SIDEWALKS, MAY HAVE A LOT FRONTAGE WIDTH OF NOT LESS THAN 40 FEET.
  - B) 50% OR MORE OF SUCH LOTS, NOT INCLUDING THE SIDEWALKS, SHALL HAVE A LOT FRONTAGE WIDTH OF 50 FEET OR GREATER.
  - C) ANY CUL-DE-SAC LOT SHALL HAVE A LOT FRONTAGE WIDTH OF NO LESS THAN 30 FEET.
10. THE MINIMUM SINGLE-FAMILY RESIDENTIAL LOT SHALL BE 6,000 FEET.
11. FRONT SETBACKS FOR SINGLE-FAMILY RESIDENTIAL LOTS SHALL BE STAGGERED AS FOLLOWS:
  - A) 40% OF ALL LOTS WITHIN THE PROPERTY SHALL HAVE A SET BACK OF 20 FEET FROM THE FRONT PROPERTY LINE.
  - B) 20 % OF ALL LOTS WITHIN THE PROPERTY SHALL HAVE A SET BACK OF 22.5 FEET FROM THE FRONT PROPERTY LINE.
  - C) 20% OF ALL LOTS WITHIN THE PROPERTY SHALL HAVE A SET BACK OF 25 FEET FROM THE FRONT PROPERTY LINE.
  - D) 20% OF ALL LOTS WITHIN THE PROPERTY SHALL HAVE A SET BACK OF 27.5 FEET FROM THE FRONT PROPERTY LINE.

20' SB		22.5' SB		25' SB		27.5' SB		VARIES	
5' A	5' B	5' B	5' C	5' C	5' D	5' D	5' D	5' SB	15' SB
10' SB		10' SB		10' SB		10' SB		10' SB	

REAR LOT

LOT TYPE SUMMARY TABLE					
PHASE	TYPE				TOTAL
	A	B	C	D	
1	47	24	23	24	118
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TOTAL LOTS	199	100	98	100	497
PERCENT (%)	40%	20%	20%	20%	100%

© 2018 KIMLEY-HORN AND ASSOCIATES, INC.  
10814 JOLLYVILLE ROAD, AVALON IV, SUITE 300, AUSTIN, TX 78759  
PHONE: 512-418-1771 FAX: 512-418-1791  
[WWW.KIMLEY-HORN.COM](http://WWW.KIMLEY-HORN.COM)  
TEXAS REGISTERED ENGINEERING FIRM F-928



KHA PROJECT 069241722	DATE JULY 2019	SCALE: AS SHOWN	DESIGNED BY: KJB	DRAWN BY: JMW	CHECKED BY: RJS
--------------------------	-------------------	-----------------	------------------	---------------	-----------------

# PRELIMINARY PLAN

**LAGOS  
PHASE 5**  
CITY OF MANOR  
TRAVIS COUNTY, TEXAS

SHEET NUMBER  
2



**JAY ENGINEERING COMPANY, INC.**

P.O. Box 1220 (512) 259-3882  
Leander, TX 78646 Fax 259-8016  
Texas Registered Engineering Firm F-4780

Date: Monday, April 8, 2019

Jordan Walker

jordan.m.walker@kimley-horn.com

Permit Number 2019-P-1177-PP  
Job Address: Lagos Phase 5 Preliminary Plan, Manor, TX. 78653

Dear Jordan Walker,

The first submittal of the Lagos Phase 5 Preliminary Plan (*Preliminary Plan*) submitted by and received on April 02, 2020, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B.

**Engineer Review**

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

1. Mailing labels should be provided for property owner's within three hundred (300) feet of the subdivision boundary.
2. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(3)(i), the location, size and description of any proposed drainage appurtenances, including storm sewers, detention ponds and other drainage structures proposed to be constructed on and off the site, and designed in accordance with the requirements of the Ordinance.
3. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(3)(iii), the locations, dimensions, names and descriptions of all proposed streets, alleys, parks, nature preserves, open spaces, blocks, lots, reservations, easements, and rights-of-way; and areas within the subdivision, indicating the connection to or continuation of other improvements in adjacent subdivisions.
4. Provide a copy of the TIA for the project as required by City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(4)(iv). The TIA will need to be approved prior to preliminary plat approval.



Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. Please include a comment response narrative indicating how comments have been addressed with your plan resubmittal. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

Additional comments may be generated as requested information is provided. Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,

A handwritten signature in blue ink, reading "Pauline M. Gray". The signature is cursive and fluid.

Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.



May 3, 2019

Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.  
P.O. Box 1220  
Leander, Texas 78646-1220

**RE: Permit No. 2019-P-1177-PP  
Manor, Texas 78653  
Lagos Phase 5 Preliminary Plan**

Dear Pauline Gray, P.E.:

Please accept this Comment Response Letter in reply to Jay Engineering Company's review dated April 8<sup>th</sup>, 2019. The original comments have been included for reference and all replies are marked in red.

#### **Engineer Review**

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at [pgray@jaeco.net](mailto:pgray@jaeco.net).

1. Mailing labels should be provided for property owners within three hundred (300) feet of the subdivision boundary.

**Response: The mailing label list has been prepared and provided for all property owners within 300 feet of the subdivision boundary. When required the mailing labels will be sent to the City of Manor.**

2. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(3)(i), the location, size and description of any proposed drainage appurtenances, including storm sewers, detention ponds and other drainage structures proposed to be constructed on and off the site, and designed in accordance with the requirements of the Ordinance.

**Response: All information regarding proposed drainage appurtenances has been labeled on the plans.**

3. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(3)(iii), the locations, dimensions, names and descriptions of all proposed streets, alleys, parks, nature preserves, open spaces, blocks, lots, reservations, easements, and right-of-way; and areas within the subdivision, indicating the connection to or continuation of other improvements in adjacent subdivisions.

**Response: All labels and descriptions called for has been added in the plans.**

4. Provide a copy of the TIA for the project as required by City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22©(4)(iv). The TIA will need to be approved prior to preliminary plat approval.

**Response: The TIA is currently under review by the City of Manor staff.**

Please contact me at 512-418-1771 if additional information is required.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.

A handwritten signature in blue ink, appearing to read "R. J. Smith", with a long horizontal flourish extending to the right.

Robert J. Smith, P.E.  
Senior Project Manager

Date: Tuesday, May 28, 2019

Jordan Walker

jordan.m.walker@kimley-horn.com

Permit Number 2019-P-1177-PP

Job Address: Lagos Phase 5 Preliminary Plan, Manor 78653

Dear Jordan Walker,

The subsequent submittal of the Lagos Phase 5 Preliminary Plan submitted by and received on April 02, 2020, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):

#### **Engineer Review**

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

1. ~~Mailing labels should be provided for property owner's within three hundred (300) feet of the subdivision boundary.~~
2. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(3)(i), the location, size and description of any proposed drainage appurtenances, including storm sewers, detention ponds and other drainage structures proposed to be constructed on and off the site, and designed in accordance with the requirements of the Ordinance.~~
3. **Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(3)(iii), the locations, dimensions, names and descriptions of all proposed streets, alleys, parks, nature preserves, open spaces, blocks, lots, reservations, easements, and rights-of-way; and areas within the subdivision, indicating the connection to or continuation of other improvements in adjacent subdivisions. Street names should be labeled on all sheets. Verify street names on Sheet 3.**
4. **Provide a copy of the TIA for the project as required by City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(4)(iv). The TIA will need to be approved prior to preliminary plat approval.**
5. **On several sheets there are labels for existing City Limits and Manor City Limits. The City Limits should be clearly shown and labeled on the preliminary plat.**
6. **Labels for Phase 4 should say Phase 4 not existing Phase 4 as it has not been constructed.**
7. **All tie ins to existing City of Manor utilities should be clearly shown and labeled.**



Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (512) 259-3882 ex. 307, or by e-mail at [pgray@jaeco.net](mailto:pgray@jaeco.net).

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,

A handwritten signature in blue ink, reading "Pauline M. Gray". The signature is cursive and fluid.

Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.



May 3, 2019

Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.  
P.O. Box 1220  
Leander, Texas 78646-1220

**RE: Permit No. 2019-P-1177-PP  
Manor, Texas 78653  
Lagos Phase 5 Preliminary Plan**

Dear Pauline Gray, P.E.:

Please accept this **Comment Response Letter** in reply to Jay Engineering Company's review dated April 8<sup>th</sup>, 2019. The original comments have been included for reference and all replies are marked in red.

#### **Engineer Review**

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at [pgray@jaeco.net](mailto:pgray@jaeco.net).

1. Cleared
2. Cleared
3. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(3)(iii), the locations, dimensions, names and descriptions of all proposed streets, alleys, parks, nature preserves, open spaces, blocks, lots, reservations, easements, and right-of-way; and areas within the subdivision, indicating the connection to or continuation of other improvements in adjacent subdivisions. Street names should be labeled on all sheets. Verify street names on Sheet 3.

**Response: All labels and descriptions called for has been added in the plans. Street names have been verified and added to all applicable sheets.**

4. Provide a copy of the TIA for the project as required by City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22©(4)(iv). The TIA will need to be approved prior to preliminary plat approval.

**Response: The TIA is currently under review by the City of Manor staff.**

5. On several sheets there are labels for existing City Limits and Manor City Limits. The City Limits should be clearly shown and labeled on the preliminary plat.

**Response: The Manor City Limits are now clearly shown and labeled on all sheets.**

6. Labels for Phase 4 should say Phase 4 not existing Phase 4 as it has not been constructed.

Response: All instances where Phase 4 was previously labeled as Existing Phase 4 have been updated to Phase 4.

7. All tie ins to existing City of Manor utilities should be clearly shown and labeled.

Response: All proposed phase 5 utilities now are clearly labeled showing connection points to phase 4 utilities on sheet 3. Phase 4 is currently not constructed but will be built prior to construction of phase 5 to allow for connection.

Please contact me at 512-418-1771 if additional information is required.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.

A handwritten signature in blue ink, appearing to read "R. J. Smith", with a long horizontal flourish extending to the right.

Robert J. Smith, P.E.  
Senior Project Manager

Date: Wednesday, June 26, 2019

Jordan Walker

jordan.m.walker@kimley-horn.com

Permit Number 2019-P-1177-PP

Job Address: Lagos Phase 5 Preliminary Plan, Manor 78653

Dear Jordan Walker,

The subsequent submittal of the Lagos Phase 5 Preliminary Plan submitted by and received on April 02, 2020, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):

#### **Engineer Review**

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

- ~~1. Mailing labels should be provided for property owner's within three hundred (300) feet of the subdivision boundary.~~
- ~~2. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(3)(i), the location, size and description of any proposed drainage appurtenances, including storm sewers, detention ponds and other drainage structures proposed to be constructed on and off the site, and designed in accordance with the requirements of the Ordinance.~~
- 3. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(3)(iii), the locations, dimensions, names and descriptions of all proposed streets, alleys, parks, nature preserves, open spaces, blocks, lots, reservations, easements, and rights-of-way; and areas within the subdivision, indicating the connection to or continuation of other improvements in adjacent subdivisions. Street names should be labeled on all sheets. Verify street names on Sheet 3. Street names should be provided.**
- 4. Provide a copy of the TIA for the project as required by City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(4)(iv). The TIA will need to be approved prior to preliminary plat approval.**
- 5. On several sheets there are labels for existing City Limits and Manor City Limits. The City Limits should be clearly shown and labeled on the preliminary plat. There is a label for existing City of Manor City Limits located south of the Manor ISD lot. This label should be removed as that is not the current City Limits line.**
- ~~6. Labels for Phase 4 should say Phase 4 not existing Phase 4 as it has not been constructed.~~
- ~~7. All tie ins to existing City of Manor utilities should be clearly shown and labeled.~~



Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (512) 259-3882 ex. 307, or by e-mail at [pgray@jaeco.net](mailto:pgray@jaeco.net).

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,

A handwritten signature in blue ink that reads "Pauline M. Gray". The signature is written in a cursive, flowing style.

Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.



July 3, 2019

Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.  
P.O. Box 1220  
Leander, Texas 78646-1220

**RE: Permit No. 2019-P-1177-PP  
Manor, Texas 78653  
Lagos Phase 5 Preliminary Plan**

Dear Pauline Gray, P.E.:

Please accept this **Comment Response Letter** in reply to Jay Engineering Company's review dated June 26th, 2019. The original comments have been included for reference and all replies are marked in red.

#### **Engineer Review**

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

1. Cleared
2. Cleared
3. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(3)(iii), the locations, dimensions, names and descriptions of all proposed streets, alleys, parks, nature preserves, open spaces, blocks, lots, reservations, easements, and right-of-way; and areas within the subdivision, indicating the connection to or continuation of other improvements in adjacent subdivisions. Street names should be labeled on all sheets. Verify street names on Sheet 3. Street names should be provided.

**Response: Street names have been provided on all applicable sheets. Street name approval correspondence has been provided.**

4. Provide a copy of the TIA for the project as required by City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22©(4)(iv). The TIA will need to be approved prior to preliminary plat approval.

**Response: TIA review in process.**

On several sheets there are labels for existing City Limits and Manor City Limits. The City Limits should be clearly shown and labeled on the preliminary plat.

**Response: The City Limits are now clearly shown and labeled on all applicable sheets.**

5. Cleared

6. Cleared

Please contact me at 512-418-1771 if additional information is required.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.

A handwritten signature in blue ink, appearing to read "R. J. Smith", with a long horizontal flourish extending to the right.

Robert J. Smith, P.E.  
Senior Project Manager

**JAY ENGINEERING COMPANY, INC.**  
*P.O. Box 1220 (512) 259-3882*  
*Leander, TX 78646 Fax 259-8016*  
*Texas Registered Engineering Firm F-4780*

Date: Tuesday, July 30, 2019

Jordan Walker

jordan.m.walker@kimley-horn.com

Permit Number 2019-P-1177-PP

Job Address: Lagos Phase 5 Preliminary Plan, Manor 78653

Dear Jordan Walker,

The subsequent submittal of the Lagos Phase 5 Preliminary Plan submitted by and received on April 02, 2020, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):



## Engineer Review

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

- ~~1. Mailing labels should be provided for property owner's within three hundred (300) feet of the subdivision boundary.~~
- ~~2. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(3)(i), the location, size and description of any proposed drainage appurtenances, including storm sewers, detention ponds and other drainage structures proposed to be constructed on and off the site, and designed in accordance with the requirements of the Ordinance.~~
- 3. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(3)(iii), the locations, dimensions, names and descriptions of all proposed streets, alleys, parks, nature preserves, open spaces, blocks, lots, reservations, easements, and rights-of-way; and areas within the subdivision, indicating the connection to or continuation of other improvements in adjacent subdivisions. Street names should be labeled on all sheets. Verify street names on Sheet 3. Street names should be provided. Per 911 Addressing the provided street names are not reserved. Provide current approval of the street names.**
- 4. Provide a copy of the TIA for the project as required by City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(4)(iv). The TIA will need to be approved prior to preliminary plat approval.**
- ~~5. On several sheets there are labels for existing City Limits and Manor City Limits. The City Limits should be clearly shown and labeled on the preliminary plat. There is a label for existing City of Manor City Limits located south of the Manor ISD lot. This label should be removed as that is not the current City Limits line.~~
- ~~6. Labels for Phase 4 should say Phase 4 not existing Phase 4 as it has not been constructed.~~
- ~~7. All tie ins to existing City of Manor utilities should be clearly shown and labeled.~~

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (512) 259-3882 ex. 307, or by e-mail at pgray@jaeco.net.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.



September 17, 2019

Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.  
P.O. Box 1220  
Leander, Texas 78646-1220

**RE: Permit No. 2019-P-1177-PP  
Manor, Texas 78653  
Lagos Phase 5 Preliminary Plan**

Dear Pauline Gray, P.E.:

Please accept this **Comment Response Letter** in reply to Jay Engineering Company's review dated July 30th, 2019. The original comments have been included for reference and all replies are marked in red.

#### **Engineer Review**

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at [pgray@jaeco.net](mailto:pgray@jaeco.net).

1. Cleared
2. Cleared
3. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(3)(iii), the locations, dimensions, names and descriptions of all proposed streets, alleys, parks, nature preserves, open spaces, blocks, lots, reservations, easements, and right-of-way; and areas within the subdivision, indicating the connection to or continuation of other improvements in adjacent subdivisions. Street names should be labeled on all sheets. Verify street names on Sheet 3. Street names should be provided.

**Response: Street names have been verified and provided on all applicable sheets. Current street name approval correspondence has been provided.**

4. Provide a copy of the TIA for the project as required by City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(4)(iv). The TIA will need to be approved prior to preliminary plat approval.

**Response: TIA review in process.**

5. Cleared
6. Cleared

7. Cleared

Please contact me at 512-418-1771 if additional information is required.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.

A handwritten signature in blue ink, appearing to read "R. J. Smith", with a long horizontal stroke extending to the right.

Robert J. Smith, P.E.  
Senior Project Manager



Date: Monday, October 14, 2019

Jordan Walker

jordan.m.walker@kimley-horn.com

Permit Number 2019-P-1177-PP

Job Address: Lagos Phase 5 Preliminary Plan, Manor 78653

Dear Jordan Walker,

The subsequent submittal of the Lagos Phase 5 Preliminary Plan submitted by and received on April 02, 2020, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):

### **Engineer Review**

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

1. ~~Mailing labels should be provided for property owner's within three hundred (300) feet of the subdivision boundary.~~
2. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(3)(i), the location, size and description of any proposed drainage appurtenances, including storm sewers, detention ponds and other drainage structures proposed to be constructed on and off the site, and designed in accordance with the requirements of the Ordinance.~~
3. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(3)(iii), the locations, dimensions, names and descriptions of all proposed streets, alleys, parks, nature preserves, open spaces, blocks, lots, reservations, easements, and rights-of-way, and areas within the subdivision, indicating the connection to or continuation of other improvements in adjacent subdivisions. Street names should be labeled on all sheets. Verify street names on Sheet 3. Street names should be provided. Per 911 Addressing the provided street names are not reserved. Provide current approval of the street names.~~
4. **Provide a copy of the TIA for the project as required by City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(4)(iv). The TIA will need to be approved prior to preliminary plat approval.**
5. ~~On several sheets there are labels for existing City Limits and Manor City Limits. The City Limits should be clearly shown and labeled on the preliminary plat. There is a label for existing City of Manor City Limits located south of the Manor ISD lot. This label should be removed as that is not the current City Limits line.~~

**~~6. Labels for Phase 4 should say Phase 4 not existing Phase 4 as it has not been constructed.~~**

**~~7. All tie ins to existing City of Manor utilities should be clearly shown and labeled.~~**

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (512) 259-3882 ex. 307, or by e-mail at [pgray@jaeco.net](mailto:pgray@jaeco.net).

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Thank you,



Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.



April 1, 2020

Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.  
P.O. Box 1220  
Leander, Texas 78646-1220

**RE: Permit No. 2019-P-1177-PP  
Manor, Texas 78653  
Lagos Phase 5 Preliminary Plan**

Dear Pauline Gray, P.E.:

Please accept this Comment Response Letter in reply to Jay Engineering Company's review dated October 14, 2019. The original comments have been included for reference and all replies are marked in red.

#### **Engineer Review**

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

1.-3. Cleared

4. Provide a copy of the TIA for the project as required by City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(4)(iv). The TIA will need to be approved prior to preliminary plat approval.

**Response: TIA and TIA approval attached.**

5.-7. Cleared

Please contact me at 512-418-1771 if additional information is required.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.

A handwritten signature in blue ink, appearing to read "R. J. Smith".

Robert J. Smith, P.E.  
Senior Project Manager

**EXHIBIT "B"**  
(Transportation Mitigation)

<b>Int#</b>	<b>Intersection</b>	<b>Approach</b>	<b>Mitigation Measure to be constructed by the developer</b>
8	Lexington St. (FM 973/Loop 212) at Parsons St.	West Leg	Widen west leg for additional NBL receiving lane to S. Bastrop St. ≈700'
		NB	Add 300' left turn lane w/ a 50' taper
		NB	Add 200' right turn lane w/ a 50' taper
		EB	Add 200' right turn lane w/ a 50' taper
		SB	Add 200' right turn lane w/ a 50' taper
9	Lexington St. (FM 973/Loop 212) at Brenham St.	SB	Add 300' left turn lane w/ a 50' taper
		NB	Add 300' left turn lane w/ a 50' taper
10	Brenham St. at Marcos St.	SB	Add 300' left turn lane w/ a 50' taper
		NB	Driveway to be built w/ left turn lane
12	Lexington St. (FM 973/Loop 212) at Lapoynor St.	All	Install traffic signal when warranted
15	Old FM 973 at Dwy. 2	All	Install traffic signal when warranted
16	Old FM 973 at Dwy. 1	All	Install traffic signal when warranted
17	Blake Manor at Wildhorse Connector	ALL	Install traffic signal when warranted

Donation agreement(s) providing for the above-listed mitigations on TxDOT facilities are required. The mitigations at Brenham and San Marcos Street are to be constructed by the developer at the time of construction of the intersecting Lagos subdivision street. Int#s are from the TIA.



**JAY ENGINEERING COMPANY, INC.**

*P.O. Box 1220 (512) 259-3882  
Leander, TX 78646 Fax 259-8016  
Texas Registered Engineering Firm F-4780*

Date: Wednesday, April 15, 2020

Jordan Walker

jordan.m.walker@kimley-horn.com

Permit Number 2019-P-1177-PP

Job Address: Lagos Phase 5 Preliminary Plan, Manor 78653

Dear Jordan Walker,

We have conducted a review of the preliminary plat for the above-referenced project, submitted by Jordan Walker and received by our office on April 02, 2020, for conformance with the City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B. The Plans appear to be in general compliance with City Ordinance requirements and we therefore take no exception to their approval as presented.

**Please submit a hard copy of the cover sheet to Scott Dunlop at the City of Manor for signatures. A copy of the signed cover sheet will be uploaded under project files on the my permit now website.**

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance. Please call if you have any questions or need additional information.

Sincerely,



Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.



## AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 13, 2020

PREPARED BY: Scott Dunlop, Assistant Development Director

DEPARTMENT: Development Services

---

### AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Final Plat for Manor Commons SE Commercial, Lot 4, Block A, one (1) lot on 1.147 acres, more or less, and being located near US Hwy 290 East and N. FM 973, Manor, TX.  
Applicant: ALM Engineering, Inc. Owner: Greenview Development 973, LP.

---

### BACKGROUND/SUMMARY:

This plat has been approved by our engineers. It is a one lot plat for the proposed Dairy Queen.

PRESENTATION: ☐ YES ☐ NO

ATTACHMENTS: ☐ YES (IF YES, LIST IN ORDER TO BE PRESENTED) ☐ NO

Plat

Engineer Comments

Conformance Letter

---

### STAFF RECOMMENDATION:

It is City staff's recommendation that the Planning and Zoning Commission approve a Final Plat for Manor Commons SE Commercial, Lot 4, Block A, one (1) lot on 1.147 acres, more or less, and being located near US Hwy 290 East and N. FM 973, Manor, TX.

PLANNING & ZONING COMMISSION: ☐ RECOMMENDED APPROVAL ☐ DISAPPROVAL ☐ NONE

FINAL PLAT ESTABLISHING  
LOT 4, BLOCK A  
MANOR COMMONS SE COMMERCIAL

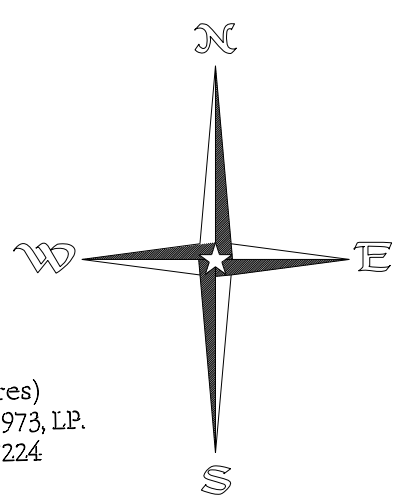
PREPARED FEBRUARY 28, 2020

(32.869 Acres)  
Terrell Timmermann  
Volume 7335 Page 455

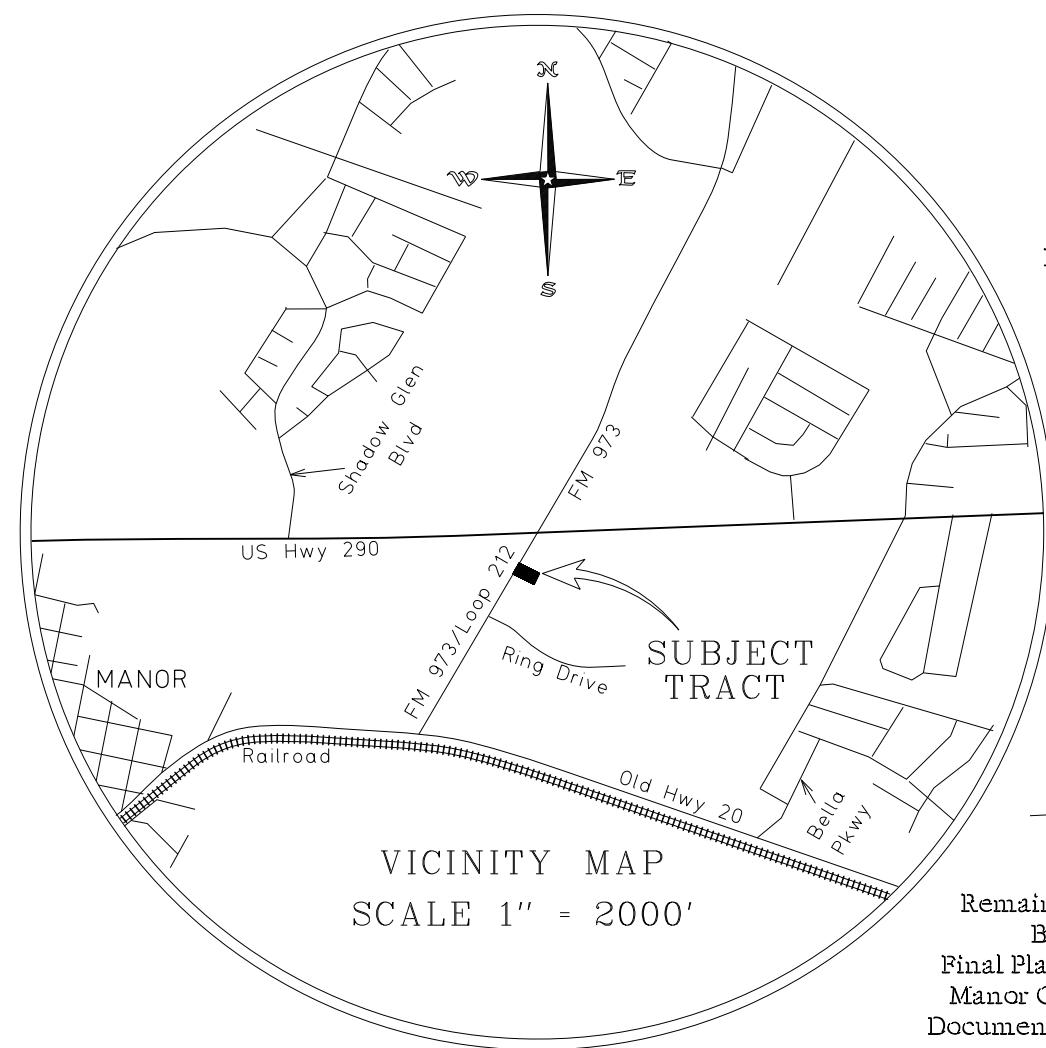
(26.136 Acres)  
Remainder  
Butler Family Partnership, Ltd.  
Volume 12271 Page 872



SCALE: 1" = 100'



- Legend
- 1/2" Capped Iron Rod Found imprinted "Holt Carson, Inc."
  - Capped Iron Rod Found as noted
  - Concrete Highway Monument Found
  - 1/2" Capped Iron Rod Set imprinted "Holt Carson, Inc."
  - B.L. = Building Line
  - Proposed 6' Concrete Sidewalk
  - (Record Bearing and Distance)



VICINITY MAP  
SCALE 1" = 2000'

LOT SUMMARY

Total Number of Lots = 1  
Lot 4 = 1.147 Acres = 49,965 Square Feet  
Total Area = 49,965 Square Feet = 1.147 Acres  
Lot 4 Commercial

BEARING BASIS:  
Orientation for this survey is based upon the State Plane Coordinate System (4203 - Texas Central Zone) Combined Scale Factor 0.99992587. All distances shown hereon are surface values.

NAVD1988 Elevations shown hereon are based upon post processed static GPS observations.

Site Benchmark (BM#1) Cut triangle on top of concrete headwall, S 05°30'W 50.2' from Northeast lot corner of subject lot:

North: 10,101,280.7'  
East: 3,178,144.8'  
NAVD 1988 Elevation: 509.04 ft.

OWNER/SUBDIVIDER: Greenview Development 973, LP  
501 Vale Street  
Austin, Texas 78746

ENGINEER: ALM ENGINEERING, INC. F-3565  
2525 Wallingwood Dr., Ste. 600  
Austin, Texas 78746

SURVEYOR: HOLT CARSON, INC.  
1904 Fortview Road  
Austin, Texas 78704

(82.254 Acres)  
Remainder  
Terrell Timmermann  
Volume 11208 Page 824

LOOP 212 A.K.A. F.M. HIGHWAY 973  
(R.O.W. VARIES)

RING DRIVE (R.O.W. VARIES)

PLACE OF BEGINNING  
North: 10,101,307.25'  
East: 3,177,802.29'

North: 10,101,467.41'  
East: 3,177,882.69'

STA 23+12.22  
90.00' LT  
"Vara"  
(0.5180 Acre)  
Water and Wastewater Easement  
per Document No. \_\_\_\_\_

(Remainder of 39.15 Acres)  
Greenview Development 973, L.P.  
Document No. 2005187773

(Remainder of 39.15 Acres)  
Greenview Development 973, L.P.  
Document No. 2005187773

Remainder of Tract D  
(0.76 Acre)  
Atmos Gas Line Easement  
Document No. 2017023573

U.S. HIGHWAY 290 (204' R.O.W.)

(Remainder of 3.017 Acres)  
Greenview Development 973, L.P.  
Document No. 2009176562

LOT 4  
BLOCK A  
(1.147 ACRES)

LOT 7  
BLOCK A  
MANOR COMMONS SE COMMERCIAL  
DOCUMENT NO. 201900077

Proposed  
LOT 12B  
BLOCK A

Proposed  
LOT 12A  
BLOCK A

(Remainder of 39.15 Acres)  
Greenview Development 973, L.P.  
Document No. 2005187773

(Remainder of 3.017 Acres)  
Greenview Development 973, L.P.  
Document No. 2009176562

(Remainder of 3.62 Acres)  
Greenview Development 973, L.P.  
Document No. 2006207224

(Remainder of 3.62 Acres)  
Greenview Development 973, L.P.  
Document No. 2006207224

(Remainder of 2.50 Acres)  
Greenview Development 973, L.P.  
Document No. 2005187926

(10.000 Acres)  
Odeen Hibbs  
Document No. 2002010174

GREENBURY BATES  
SURVEY NO. 333  
ABSTRACT NO. 315

LOT 9  
LDG COMMONS AT MANOR VILLAGE  
DOCUMENT NO. 201800236

Parkland,  
Public Utility  
and Drainage  
Easement

(Remainder of 39.15 Acres)  
Greenview Development 973, L.P.  
Document No. 2005187773

(Remainder of 104.61 Acres)  
Greenview Development Greenbury, LP.  
Document No. 2005237215

HOLT CARSON, INCORPORATED  
PROFESSIONAL LAND SURVEYORS  
1904 FORTVIEW ROAD  
AUSTIN, TX 78704  
(512) 442-0990  
email: hci@austin.rr.com

Texas Licensed Surveying Firm Registration No. 10050700



OWNER'S ACKNOWLEDGMENT:

THE STATE OF TEXAS \*  
THE COUNTY OF TRAVIS \* KNOW ALL MEN BY THESE PRESENTS:

That, Greenview Development 973, LP, acting by and through its president, Barth Timmermann, owner of 1.147 acres of land out of the Greenbury Gates Survey No. 63, Abstract No. 315, in the City of Manor, Travis County, Texas, and being a portion of that certain (39.15 acre) tract of land as conveyed to Greenview Development 973, LP by deed recorded in Document No. 2005187773 of the Official Public Records of Travis County, Texas and (3.07 acres) of land as conveyed to Greenview Development 973, L.P by deed recorded in Document No. 2005187773 of the Official Public Records of Travis County, Texas; said tract having been approved for pursuant to the Public Notification and Hearing Provision of Chapter 212.015 of the Local Government Code, said 1.147 acre tract of land pursuant to Chapter 26, of the Manor City Code and Chapter 212 of the Local Government Code as amended and in accordance with the tract as shown hereon, to be known as

FINAL PLAT ESTABLISHING LOT 4, BLOCK A  
MANOR COMMONS SE COMMERCIAL

and do hereby dedicate to the Public the use of all streets and easements shown on said plat, subject to any easements and/or restrictions heretofore granted, and not released.

WITNESS MY HAND this the \_\_\_\_ day of \_\_\_\_\_, A.D., 20\_\_

Barth Timmermann, President  
501 Vale Street  
Austin, Texas 78746

THE STATE OF TEXAS  
THE COUNTY OF TRAVIS

I, the undersigned authority, on this the \_\_\_\_ day of \_\_\_\_\_, A.D., 20\_\_, did personally appear Barth Timmermann, known to me to be the person whose name is subscribed to the foregoing instrument of writing, and he acknowledged before me that he executed the same for the purposes and considerations therein expressed.

NOTARY PUBLIC \_\_\_\_\_

Printed Name \_\_\_\_\_

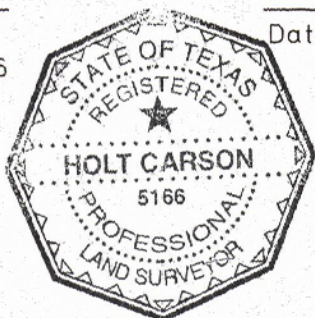
Commission Expires \_\_\_\_\_

SURVEYOR'S CERTIFICATION:

THE STATE OF TEXAS \*  
THE COUNTY OF TRAVIS \*

I, Holt Carson, am authorized by the State of Texas to practice the profession of Surveying and hereby certify that this plat complies with the Survey related portions of the City of Manor, Texas Subdivision Ordinance, is true and correct and was prepared from an actual survey of the property on the ground under my direct supervision.

Holt Carson  
Registered Professional Land Surveyor No. 5166  
HOLT CARSON, INC.  
1904 Fortview Road Austin, Texas 78704  
(512) 442-0990



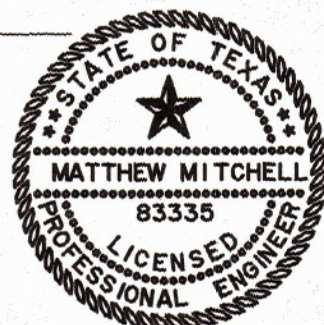
ENGINEER'S CERTIFICATION:

THE STATE OF TEXAS \*  
THE COUNTY OF TRAVIS \*

I, the undersigned, a Registered Professional Engineer in the State of Texas, hereby certify that proper engineering consideration has been given to this plat.

No portion of the the tract is within the designated flood hazard area as shown in the Letter of Map Revision (L.O.M.R.) 19-06-2660P, Effective: June 1, 2020 for FIRM Panel No. 48453C0485J, Travis County, Texas dated August 18, 2014.

Matthew Mitchell P.E. No. 83335  
ALM ENGINEERING, INC. F-3565  
2525 Wallingwood Drive, Suite 600  
Austin, Texas 78756  
(512) 457-0344



FINAL PLAT ESTABLISHING  
LOT 4, BLOCK A  
MANOR COMMONS SE COMMERCIAL

PREPARED: FEBRUARY 19, 2020

LEGAL DESCRIPTION:

DESCRIPTION OF 1.147 ACRES OF LAND OUT OF THE GREENBURY GATES SURVEY NO. 63, ABSTRACT NO. 315, IN TRAVIS COUNTY, TEXAS, AND BEING A PORTION OF THAT CERTAIN (39.15 ACRE) TRACT OF LAND AS CONVEYED TO GREENVIEW DEVELOPMENT 973, L.P. BY DEED RECORDED IN DOCUMENT NO. 2005187773 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS, ALSO BEING A PORTION OF THAT CERTAIN (3.017 ACRE) TRACT OF LAND AS CONVEYED TO GREENVIEW DEVELOPMENT 973, L.P. BY DEED RECORDED IN DOCUMENT NO. 2009176562 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a 1/2" iron rod with a plastic cap imprinted "Vara" found in the Southeast right-of-way line of Loop 212 also known as F.M. Highway 973 at an angle corner in the Westerly line of certain (39.15 acre) tract of land as conveyed to Greenview Development 973, L.P. by deed recorded in Document No. 2005187773 of the Official Public Records of Travis County, Texas, same being the Southwest corner of that certain (3.017 acre) tract of land as conveyed to Greenview Development 973, L.P. by deed recorded in Document No. 2009176562 of the Official Public Records of Travis County, Texas;

THENCE with the Southeast right-of-way line of Loop 212 and with the Northwest line of said (3.017 acre) tract, N 26 deg. 39'22" E 71.99 ft. to a 1/2" iron rod with plastic cap imprinted "Holt Carson, Inc." set for the Southwest corner and PLACE OF BEGINNING of the herein described tract;

THENCE continuing with the Southeast right-of-way line of Loop 212 and with the Northwest line of said (3.017 acre) tract, N 26 deg. 39'22" E 179.21 ft. to a 1/2" iron rod with a plastic cap imprinted "Holt Carson, Inc." set for the Northwest corner of the herein described tract;

THENCE leaving the Southeast right-of-way line of Loop 212 crossing through the interior of said (3.017 acre) tract and entering the interior of said (39.15 acre) tract, S 62 deg. 52'00" E 300.01 ft. to a 1/2" iron rod with a plastic cap imprinted "Holt Carson, Inc." set in a Westerly line of Lot 7, Block A, Manor Commons SE Commercial, a subdivision in Travis County, Texas, according to the map or plat thereof recorded in Document No. 201900077 of the Official Public Records of Travis County, Texas and being the Northeast corner of the herein described tract, from which a 1/2" iron rod with a plastic cap imprinted "Holt Carson, Inc." found at an angle corner in a Westerly line of said Lot 7 bears, N 26 deg. 39'22" E 58.00 ft.

THENCE continuing through the interior of said (39.15 acre) tract, with a Westerly line of said Lot 7 and with the East line of the herein described tract, S 26 deg. 39'22" W 153.90 ft. to a 1/2" iron rod with a plastic cap found at an angle corner of said Lot 7 and being the Southeast corner of the herein described tract;

THENCE leaving the Westerly line of said Lot 7, continuing through the interior of said (39.15 acre) tract and re-crossing the interior of said (3.017 acre) tract, N 67 deg. 41'27" W 300.87 ft. to the PLACE OF BEGINNING and containing 1.147 acres of land.

GENERAL NOTES:

- 1.) Water and wastewater systems serving this subdivision shall be designed and installed in accordance with the City of Manor and State Health Department plans and Specifications and specifications shall be submitted to the City of Manor, Water and Wastewater Department for review.
- 2.) All water and wastewater construction must be inspected by the City of Manor
- 3.) No lot in this subdivision shall be occupied until connected to the City of Manor water and wastewater.
- 4.) Prior to construction, a site development permit must be obtained from the City of Manor.
- 5.) Prior to construction on lots in this subdivision, drainage plans will be submitted to the City of Manor for review.
- 6.) The property owner shall provide for access to drainage easements as may be necessary and shall not prohibit access by governmental authorities.
- 7.) All building set-back lines shall be in accordance with the City of Manor current Zoning Ordinance.

ZONING NOTE:

PUD - Planned Unit Development

CITY OF MANOR ACKNOWLEDGMENTS

THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF MANOR CORPORATE CITY LIMITS AS OF THIS DATE. \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_, A.D.

ACCEPTED AND AUTHORIZED for record by the Planning Commission of the City of Manor, Texas, on this the \_\_\_\_ day of \_\_\_\_\_, 20\_\_, A.D.

Approved:

Attest:

Philip Tryon, Chairperson

Lluvia T. Almaraz, TRMC, City Secretary

ACCEPTED AND AUTHORIZED for record by the City Council of the City of Manor, Texas, on this the \_\_\_\_ day of \_\_\_\_\_, 20\_\_, A.D.

Approved:

Attest:

Dr. Larry Wallace, Jr., Mayor

Lluvia T. Almaraz, TRMC, City Secretary

THE STATE OF TEXAS  
THE COUNTY OF TRAVIS

I, Dana DeBeauvoir, Clerk of Travis County, Texas, do hereby certify that the foregoing instrument of Writing and its Certificate of Authentication was filed for record in my office on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_, A.D., at \_\_\_\_ o'clock \_\_\_\_ M. and duly recorded on the \_\_\_\_ day of \_\_\_\_\_, A.D., at \_\_\_\_ o'clock \_\_\_\_ M. in the Official Public Records of said County and State in Document No. \_\_\_\_\_.

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY CLERK OF SAID COUNTY this the \_\_\_\_ day of \_\_\_\_\_, 20\_\_, A.D.

DANA DEBEAUVOIR, COUNTY CLERK TRAVIS COUNTY, TEXAS

BY: \_\_\_\_\_  
Deputy

HOLT CARSON, INCORPORATED  
PROFESSIONAL LAND SURVEYORS  
1904 FORTVIEW ROAD  
AUSTIN, TX 78704  
(512) 442-0990

email: hci@austin.rr.com  
Texas Licensed Surveying Firm Registration No. 10050700

A 919002 (Lot 4) PAGE 2 OF 2



**JAY ENGINEERING COMPANY, INC.**

*P.O. Box 1220 (512) 259-3882  
Leander, TX 78646 Fax 259-8016  
Texas Registered Engineering Firm F-4780*

Date: Wednesday, February 26, 2020

Matt Mitchell  
ALM Engineering, Inc.  
925 S Capital of TX Hwy Ste B220  
West Lake Hills 78746  
almeng@sbcglobal.net

Permit Number 2020-P-1235-FP  
Job Address: FM 973, MANOR, TX. 78653

Dear Matt Mitchell,

The first submittal of the Manor Commons SE Lot 4, Block A Final Plat (*Final Plat*) submitted by ALM Engineering, Inc. and received on March 09, 2020, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B.

**Engineer Review**

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

1. The final plat is currently under review with the City Attorney which may lead to additional comments.
2. A drainage easement shown on the final plat was submitted to the City Attorney for review. It is currently being reviewed by the City Attorney which may lead to comments or required corrections.
3. Note that all documents submitted including easements should be submitted to the City Engineer first for review.
4. The zoning listed on the plat is PUD. Per the approved PUD it is C-PUD which is commercial.
5. Building setback lines should be shown on the plat.
6. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(5)(i), the developer shall include a copy of the approved application for flood plain map amendment or revision as required by the Federal Emergency Management Agency (FEMA).

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. Please include a comment response narrative indicating how comments have been addressed with your plan resubmittal. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

Additional comments may be generated as requested information is provided. Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,

A handwritten signature in blue ink that reads "Pauline M. Gray". The signature is written in a cursive, flowing style.

Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.



March 4, 2020

City of Manor, Texas

RE: Comment Response #1  
Permit Number 2020-P-1235-FP  
Job Address: FM 973, MANOR, TX. 78653

Pauline Gray, P.E.  
(512) 259-3882 EXT 207  
pgray@jaeco.net.

1. The final plat is currently under review with the City Attorney which may lead to additional comments.

RESPONSE: Noted.

2. A drainage easement shown on the final plat was submitted to the City Attorney for review. It is currently being reviewed by the City Attorney which may lead to comments or required corrections.

RESPONSE: Noted.

3. Note that all documents submitted including easements should be submitted to the City Engineer first for review.

RESPONSE: Declaration, Covenants and Restrictions have been included.

4. The zoning listed on the plat is PUD. Per the approved PUD it is C-PUD which is commercial.

RESPONSE: The Zoning has been changed to C-PUD.

5. Building setback lines should be shown on the plat.

RESPONSE: Setback lines have been added.

6. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(5)(i), the developer shall include a copy of the approved application for flood plain map amendment or revision as required by the Federal Emergency Management Agency (FEMA).

RESPONSE: The approved LOMR has been uploaded to mypermitnow.

If you have any questions please contact me at (512) 431-9600.

Sincerely,

  
Matt Mitchell, P.E.



3-4-2020

**JAY ENGINEERING COMPANY, INC.**

*P.O. Box 1220 (512) 259-3882  
Leander, TX 78646 Fax 259-8016  
Texas Registered Engineering Firm F-4780*

Date: Wednesday, April 1, 2020

Matt Mitchell  
ALM Engineering, Inc.  
925 S Capital of TX Hwy Ste B220  
West Lake Hills 78746  
almeng@sbcglobal.net

Permit Number 2020-P-1235-FP  
Job Address: FM 973, MANOR 78653

Dear Matt Mitchell,

We have conducted a review of the final plat for the above-referenced project, submitted by Matt Mitchell and received by our office on March 09, 2020, for conformance with City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A, Article II, Section 24. The Plat appears to be in general compliance with City Ordinance requirements and we, therefore, take no exception to their approval as presented. Please submit TWO (2) mylar copies of the final plat along with a current tax certificate and a check made out to Travis County for the filing fees to the City of Manor for signatures. One mylar is for City records and the other is for Travis County.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance. Please call if you have any questions or need additional information.

Sincerely,



Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.





## AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 13, 2020

PREPARED BY: Scott Dunlop, Assistant Development Director

DEPARTMENT: Development Services

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### AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Final Plat for Manor Heights Phase 1, Section 2, eight-two (82) lots on 16.85 acres, more or less, and being located near US Hwy 290 E and Old Kimbro Road, Manor, TX.

Applicant: Kimley-Horn & Associates Owner: Forestar (USA) Real Estate Group, Inc.

---

### BACKGROUND/SUMMARY:

This final plat is for the second section of phase 1 of Manor Heights that is currently under construction. This plat has been approved by our engineer.

PRESENTATION: ☐ YES ☐ NO

ATTACHMENTS: ☒ YES (IF YES, LIST IN ORDER TO BE PRESENTED) ☐ NO

Plat

Engineer Comments

Conformance Letter

---

### STAFF RECOMMENDATION:

It is City staff's recommendation that the Planning and Zoning Commission approve a Final Plat for Manor Heights Phase 1, Section 2, eight-two (82) lots on 16.85 acres, more or less, and being located near US Hwy 290 E and Old Kimbro Road, Manor, TX.

PLANNING & ZONING COMMISSION: ☐ RECOMMENDED APPROVAL ☐ DISAPPROVAL ☐ NONE

BEING 16.848 ACRES OF LAND LOCATED IN THE A.C.  
CALDWELL SURVEY NUMBER 52, ABSTRACT NUMBER  
154, AND THE CITY OF MANOR TRAVIS COUNTY, TEXAS  
AND BEING A PORTION OF THAT CERTAIN 267.942  
ACRE TRACT OF LAND CONVEYED TO FORESTAR (USA)  
REAL ESTATE GROUP INC., AS DESCRIBED IN  
DOCUMENT NUMBER 2019171724, CORRECTED IN  
DOCUMENT NUMBER 2019176020, OFFICIAL PUBLIC  
RECORDS OF TRAVIS COUNTY, TEXAS.

SEPTEMBER 2018

**CIVIL ENGINEER:**  
KIMLEY-HORN AND ASSOCIATES, INC.  
10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 200  
AUSTIN, TEXAS 78759  
TBPE FIRM REGISTRATION NO. F-928  
PH: (512) 418-1771 FAX: (512) 418-1791  
CONTACT: ALEX E. GRANADOS, P.E.

**SURVEYOR:**  
KIMLEY-HORN AND ASSOCIATES, INC.  
601 NW LOOP 410, SUITE 350  
SAN ANTONIO, TEXAS 78216  
PH: (210) 541-9166 FAX: (210) 541-8699  
CONTACT: JOHN G. MOSIER, R.P.L.S.  
TBPLS FIRM REGISTRATION NO. 10193973

**OWNER/DEVELOPER:**  
FORESTAR (USA) REAL ESTATE GROUP, INC.,  
A DELAWARE CORPORATION  
2221 E. LAMAR BLVD., SUITE 790  
ARLINGTON, TEXAS 76006  
DALLAS COUNTY  
CONTACT: JOHN MARFERRY



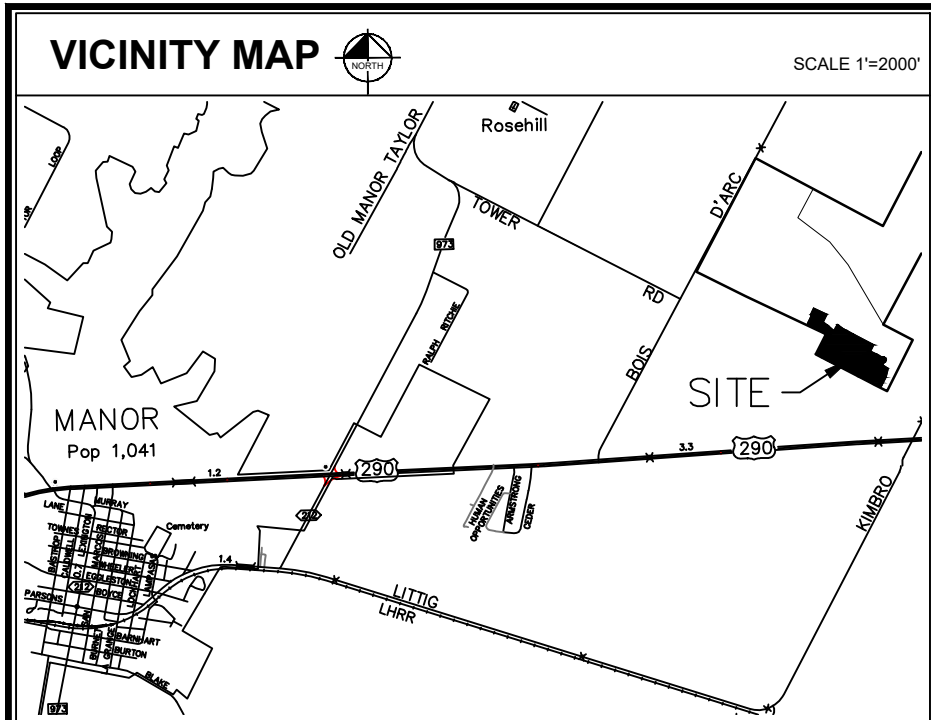
REMAINDER OF  
(267.942 ACRES)  
FORESTAR (USA) REAL  
ESTATE GROUP IN  
DOC.2019171724  
CORRECTED IN  
DOC.2019176020

(10.16 ACRES)  
TONY PARENT  
ENTERPRISES INC  
DOC-2007163554

PORTION OF  
(267.942 ACRES)  
FORESTAR (USA) REAL  
ESTATE GROUP INC.,  
DOC. 2019171724  
CORRECTED IN  
2019176020

ZOILA PORTILLO  
DOC.2014111607

Sheet No.  
1 OF 3



# LEGEND

5/8" IRF	●	5/8" IRON ROD FOUND
1/2" IRF	●	1/2" IRON ROD (W/ "KHA" CAP SET
IRFC	●	1/2" IRON ROD FOUND W/ CAP
60d	●	60d NAIL FOUND

O.P.T.C.T. OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY TEXAS

T.C.P.R. TRAVIS COUNTY PLAT RECORDS

P.O.B. POINT OF BEGINNING

T.B.M. BENCH MARK

P.U.E. PUBLIC UTILITY EASEMENT

BL. BUILDING SET BACK LINE

W.L.E. WATER LINE EASEMENT

W.W.E. WASTEWATER EASEMENT

..... SIDEWALK

A, B, C, D BUILDING SETBACK: BY LOT TYPE (SEE DETAIL)

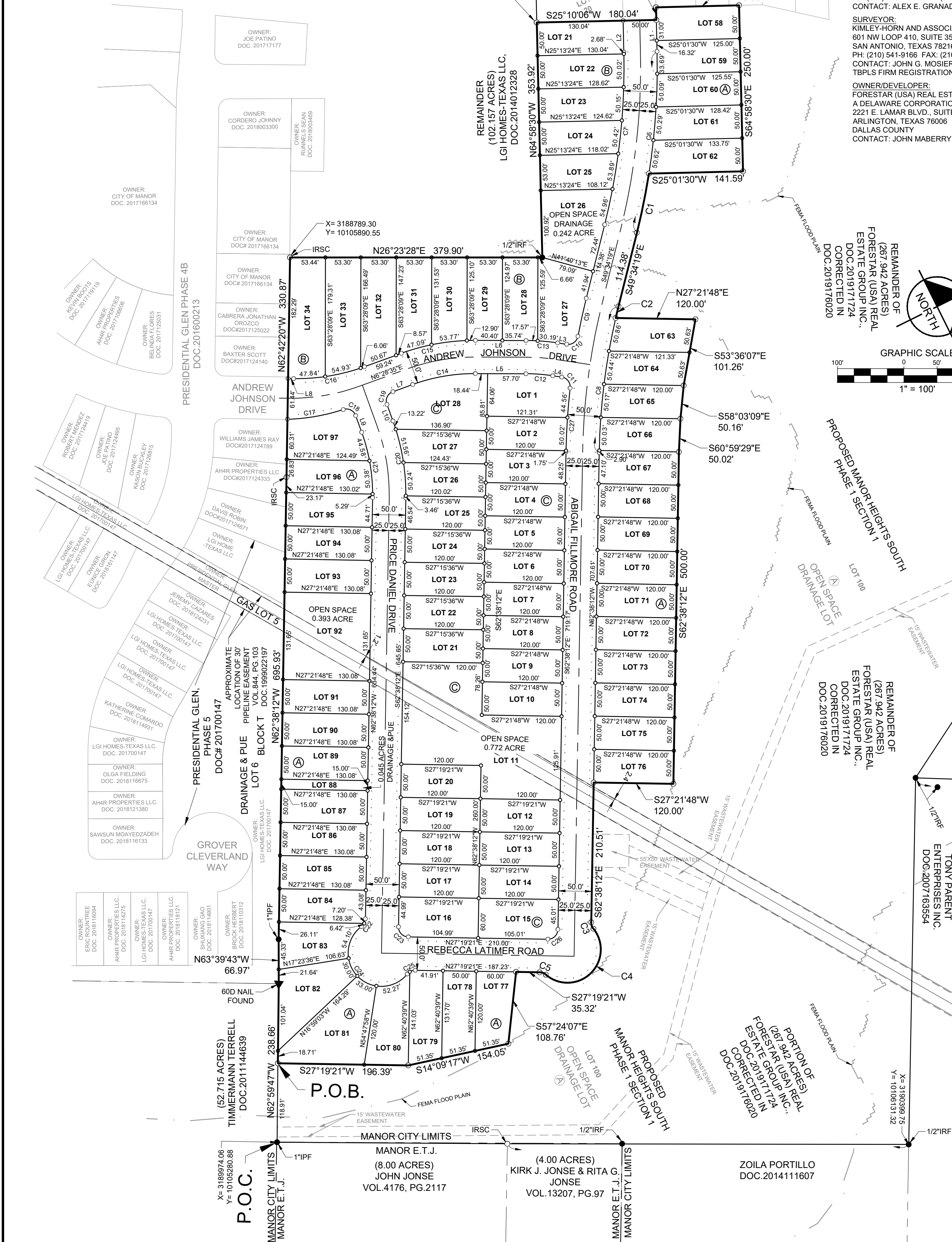
P.O.C. POINT OF CURVE

P.R.C. POINT OF REVERSE CURVE

P.C.C. POINT OF COMPOUND CURVE

P.O.T. POINT OF TANGENT

—— PHASE AND MATCH LINE





*MANOR HEIGHTS SOUTH  
PHASE 1 SECTION 2*

BEING 16.848 ACRES OF LAND LOCATED IN THE A.C.  
Caldwell Survey Number 52, Abstract Number  
154, and the City of Manor Travis County, Texas  
and being a portion of that certain 267.942  
acre tract of land conveyed to Forestar (USA)  
Real Estate Group Inc., as described in  
document number 2019171724, corrected in  
document number 2019176020, official public  
records of Travis County, Texas.

SEPTEMBER 2018

# Kimley»»Horn

LINE TABLE		
NO.	BEARING	LENGTH
L1	S64°58'30"E	47.32'
L2	S64°58'30"E	47.45'
L3	N34°57'08"E	13.68'
L4	N34°57'08"E	13.68'
L5	N26°31'51"E	76.13'
L6	S26°31'51"W	76.14'
L7	N06°28'35"E	31.69'
L8	N27°15'36"E	8.19'
L9	N83°31'25"W	26.54'
L10	N83°31'25"W	26.37'

CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	5°04'48"	1025.00'	90.88'	N52°06'43"W	90.85'
C2	1°03'13"	975.00'	17.93'	S50°05'55"E	17.93'
C3	39°42'56"	15.00'	10.40'	S82°29'40"E	10.19'
C4	169°23'26"	50.01'	147.84'	N17°39'25"W	99.58'
C5	39°42'56"	15.00'	10.40'	S47°10'49"W	10.19'
C6	15°24'12"	1025.00'	275.56'	N57°16'24"W	274.73'
C7	15°24'12"	975.00'	262.12'	N57°16'24"W	261.33'
C8	13°03'53"	975.00'	222.32'	S56°06'15"E	221.84'
C9	3°16'19"	1025.00'	58.53'	S51°12'28"E	58.52'
C10	87°47'45"	15.00'	22.98'	N08°56'45"W	20.80'
C11	87°47'45"	15.00'	22.98'	S78°51'00"W	20.80'
C12	8°23'53"	275.77'	40.42'	S30°44'30"W	40.38'
C13	8°20'17"	328.21'	47.76'	S30°44'31"W	47.72'
C14	20°03'16"	275.00'	96.25'	S16°30'13"W	95.76'
C15	20°03'16"	325.00'	113.76'	S16°30'13"W	113.18'
C16	20°47'01"	300.00'	108.82'	N16°52'05"E	108.23'
C17	16°20'26"	300.00'	85.56'	S16°29'52"W	85.27'
C18	88°08'56"	15.00'	23.08'	S52°24'07"W	20.87'
C19	90°00'00"	15.00'	23.56'	S38°31'25"E	21.21'
C20	20°53'13"	325.00'	118.48'	N73°04'48"W	117.82'
C21	20°53'13"	275.00'	100.25'	N73°04'48"W	99.70'
C22	52°01'12"	15.00'	13.62'	N36°37'36"W	13.16'
C23	90°02'27"	15.00'	23.57'	N72°20'35"E	21.22'
C24	194°04'52"	50.00'	169.37'	N72°20'35"E	99.25'
C25	52°01'12"	15.00'	13.62'	S01°18'45"W	13.16'
C26	89°57'33"	15.00'	23.55'	N17°39'25"W	21.21'
C27	5°23'04"	1025.00'	96.33'	S59°56'40"E	96.29'

**CIVIL ENGINEER:**  
**KIMLEY-HORN AND ASSOCIATES, INC.**  
 10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 200  
 AUSTIN, TEXAS 78759  
 TBPE FIRM REGISTRATION NO. F-928  
 PH: (512) 418-1771 FAX: (512) 418-1791  
 CONTACT: ALEX E. GRANADOS, P.E.

**SURVEYOR:**  
KIMLEY-HORN AND ASSOCIATES, INC.  
601 NW LOOP 410, SUITE 350  
SAN ANTONIO, TEXAS 78216  
PH: (210) 541-9166 FAX: (210) 541-8699  
CONTACT: JOHN G. MOSIER, R.P.L.S.  
TBPLS FIRM REGISTRATION NO. 10193973

**OWNER/DEVELOPER:**  
FORESTAR (USA) REAL ESTATE GROUP, INC.,  
A DELAWARE CORPORATION  
2221 E. LAMAR BLVD., SUITE 790  
ARLINGTON, TEXAS 76006  
DALLAS COUNTY  
CONTACT: JOHN MABERRY

**LEGAL DESCRIPTION:**

Being 16.848 acre (733,881 square feet) tract of land located in the A.C. Caldwell Survey Number 52, Abstract Number 154, City of Manor, Travis County, Texas, being a portion of that certain 267.942 acre tract described in instrument to Forestar (USA) Real Estate Group Inc., as described in Document Number 2019171724, corrected in Document Number 2019176020, Official Public Records of Travis County; and being more particularly described as follows:

COMMENCING, at a 1 inch iron pipe found on the northeasterly line of that certain 52.715 acre tract described in instrument to Timmermann Terrell as described in Document Number 2011144639, Official Public Records of Travis County, for the southerly corner of said 267.942 acre tract and the westerly corner of that certain 8.00 acre tract described in instrument to John Jonse, as described in Volume 4176, page 2117 Real Property Records of Travis County;

THENCE, North 62°59'47" West, 118.91 feet along the said northeasterly line of that certain 52.715 acre tract to a ½ inch iron rod with "KHA" cap set for the POINT OF BEGINNING of herein described tract;

THENCE, North 62°59'47" West, 119.75 feet along the said northeasterly line of that certain 52.715 acre tract to a 60d nail found for the most northerly corner of said 52.715 acre tract, and the easterly corner of that certain 102.157 acre tract of land conveyed to LG Homes-Texas LLC, in Document Number 2014012328, Official Public Records of Travis County;

THENCE, along the northeasterly line of said 102.157 acre tract, the following two (2) course and distances:

1. North 63°39'43" West, 66.97 feet, to a 1 inch iron pipe found for corner;
2. North 62°38'12" West, 695.93 feet to a ½ inch iron rod with "KHA" cap set on the northeasterly line of Presidential Glen Phase 4B, as described in Document Number 201600213, Official Public Records of Travis County;

THENCE, North 62°42'20" West, 330.87 feet along the said northeasterly line of said Presidential Glen Phase 4B to a ½ inch iron rod with "KHA" cap set for the most southerly-northeasterly corner of said 102.157 acres tract;

THENCE, North 26°23'28" East, 379.90 feet along the southeasterly line of said 102.157 acre tract to a ½ inch iron rod found for the most northerly northeasterly corner of said 102.157 acre tract;

THENCE, North 64°58'30" West, 353.92 feet along the northerly line of said 102.157 acre tract to a ½ inch iron rod with "KHA" cap set for the most northerly - westerly corner of herein described tract;

THENCE, crossing said 267.942 acre tract of land, the following twenty-two (22) course and distances:

1. North 25°10'06" East, 180.04 feet to a ½ inch iron rod with "KHA" cap set for corner;
2. North 64°58'30" West, 19.00 feet to a ½ inch iron rod with "KHA" cap set for corner;
3. North 25°01'30" East, 125.00 feet to a ½ inch iron rod with "KHA" cap set for corner;
4. South 64°58'30" East, 250.00 feet to a ½ inch iron rod with "KHA" cap set for corner;
5. South 25°01'30" West, 141.59 feet to a ½ inch iron rod with "KHA" cap set for corner;
6. in a southeasterly direction, along a non-tangent curve to the right, a central angle of 5°04'48", a radius of 1025.00 feet, a chord bearing and distance of South 52°06'43" East, 90.85 feet, and a total arc length of 90.88 feet to a ½ inch iron rod with "KHA" cap set for corner;
7. South 49°34'19" East, 114.38 feet to a ½ inch iron rod with "KHA" cap set for corner, and a point of curvature;
8. in a southeasterly direction, along a tangent curve to the left, a central angle of 1°03'13", a radius of 975.00 feet, a chord bearing and distance of South 50°05'55" East, 17.93 feet, and a total arc length of 17.93 feet to a ½ inch iron rod with "KHA" cap set for corner;
9. North 27°21'48" East, 120.00 feet to a ½ inch iron rod with "KHA" cap set for corner;
10. South 53°36'07" East, 101.26 feet to a ½ inch iron rod with "KHA" cap set for corner;
11. South 58°03'09" East, 50.16 feet to a ½ inch iron rod with "KHA" cap set for corner;
12. South 60°59'29" East, 50.02 feet to a ½ inch iron rod with "KHA" cap set for corner;
13. South 62°38'12" East, 500.00 feet to a ½ inch iron rod with "KHA" cap set for corner;
14. South 27°21'48" West, 120.00 feet to a ½ inch iron rod with "KHA" cap set for corner;
15. South 62°38'12" East, 210.51 feet to a ½ inch iron rod with "KHA" cap set for corner, and point of curvature;
16. in a southeasterly direction, along a tangent curve to the left, a central angle of 9°42'56", a radius of 15.00 feet, a chord bearing and distance of South 82°29'40" East, 10.19 feet, and a total arc length of 10.40 feet to a ½ inch iron rod with "KHA" cap set for corner, and a point of curvature;
17. in a southeasterly direction, along a tangent reverse curve to the right, a central angle of 169°23'26", a radius of 50.01 feet, a chord bearing and distance of South 17°39'25" East, 99.58 feet, and a total arc length of 147.84 feet to a ½ inch iron rod with "KHA" cap set for corner, and a point of curvature;
18. in a southwesterly direction, along a tangent reverse curve to the left, a central angle of 39°42'56", a radius of 15.00 feet, a chord bearing and distance of South 47°10'49" West, 10.19 feet, and a total arc length of 10.40 feet to a ½ inch iron rod with "KHA" cap set for corner, and a point of corner;
19. South 27°19'21" West, 35.32 feet to a ½ inch iron rod with "KHA" cap set for corner;
20. South 57°24'07" East, 108.76 feet to a ½ inch iron rod with "KHA" cap set for corner;
21. South 14°09'17" West, 154.05 feet to a ½ inch iron rod with "KHA" cap set for corner;
22. South 27°19'21" West, 196.39 feet to the POINT OF BEGINNING and containing 16.848 acres of land in Travis County, Texas, as shown in the document prepared in the office of Kimsley-Horn and Associates, Inc. in San Antonio, Texas.

MINIMUM LOT WIDTH	50 FT	30 FT (CUL-DE-SAC)	TOTAL
PHASE 1, SECTION 2	74	4	78
TOTAL			

# LEGEND

5/8" IRF ●	5/8" IRON ROD FOUND
IRSC ○	1/2" IRON ROD W/ "KHA" CAP SET
IRFC ●	1/2" IRON ROD FOUND W/ CAP
60d ●	60d NAIL FOUND

O.P.R.T.C. OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY TEXAS

P.T.C.P. TRAVIS COUNTY PLAT RECORDS

P.O.B. POINT OF BEGINNING

T.B.M. BENCH MARK

P.U.E. PUBLIC UTILITY EASEMENT

BL BUILDING SET BACK LINE

W.L.E. WATER LINE EASEMENT

W.W.E. WASTEWATER EASEMENT

..... SIDEWALK

A, B, C, D BUILDING SETBACK BY LOT TYPE (SEE DETAIL)

P.O.C. POINT OF CURVE

P.R.C. POINT OF REVERSE CURVE

P.C.C. POINT OF COMPOUND CURVE

P.O.T. POINT OF TANGENT

—— PHASE AND MATCH LINE

THE STATE OF TEXAS                    )(  
COUNTY OF TRAVIS                    )(  
KNOW ALL MEN BY THESE PRESENTS:

WHEREAS, SKY VILLAGE KIMBRO ESTATES, LLC, A TEXAS LIMITED LIABILITY COMPANY, THE OWNER OF 16.848 ACRE TRACT LOCATED IN THE A.C. CALDWELL SURVEY NUMBER 52, ABSTRACT NUMBER 154, AND THE CITY OF MANOR TRAVIS COUNTY, TEXAS AND BEING A PORTION OF THAT CERTAIN 267.942 ACRE TRACT OF LAND CONVEYED TO FORESTAR (USA) REAL ESTATE GROUP INC., AS DESCRIBED IN DOCUMENT NUMBER 2019171724, CORRECTED IN DOCUMENT NUMBER 2019176020, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS., AND DO HEREBY SUBDIVIDE SAID, HAVING BEEN APPROVED FOR SUBDIVISION, PURSUANT TO THE PUBLIC NOTIFICATION AND HEARING PROVISION OF CHAPTER 212 AND 232 OF THE LOCAL GOVERNMENT CODE.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT THE UNDERSIGNED OWNER OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS "MANOR HEIGHTS SOUTH PHASE 1, SECTION 2" OF THE CITY OF MANOR, TRAVIS COUNTY, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY SUBDIVIDES SAID 16.848 ACRES OF LAND OF SAID IN ACCORDANCE WITH THE ATTACHED MAP OR PLAT TO BE KNOWN AS "MANOR HEIGHTS SOUTH PHASE 1, SECTION 2" AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS AND PUBLIC EASEMENTS THEREON SHOWN FOR THE PURPOSED AND CONSIDERATION THEREIN EXPRESSED: SUBJECT TO ANY EASEMENT OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.

WITNESS MY HAND THIS DAY \_\_\_\_\_, \_\_\_\_\_.

BY: \_\_\_\_\_  
FORESTAR (USA) REAL ESTATE GROUP INC.,  
A DELAWARE CORPORATION

\_\_\_\_\_  
2221 E. LAMAR BLVD., SUITE 790  
ARLINGTON, TEXAS 76006

THE STATE OF \_\_\_\_\_ )(  
COUNTY OF \_\_\_\_\_ )(

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ KNOWN TO ME TO BE THE PERSON OR AGENT WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY HEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_,

\_\_\_\_\_  
NOTARY PUBLIC  
NOTARY REGISTRATION NUMBER \_\_\_\_\_  
MY COMMISSION EXPIRES: \_\_\_\_\_  
COUNTY OF \_\_\_\_\_  
THE STATE OF \_\_\_\_\_

THE STATE OF TEXAS                    )(  
COUNTY OF TRAVIS                    )(

I, ALEX E. GRANADOS, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF ENGINEERING, AND HEREBY CERTIFY THAT THIS PLAT IS FEASIBLE FROM AN ENGINEERING STAND POINT AND COMPLIES WITH THE ENGINEERING RELATED PORTION OF THE CITY OF MANOR, TEXAS SUBDIVISION ORDINANCE, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

THIS SITE IS LOCATED IN THE COTTONWOOD CREEK WATERSHED.

A PORTION OF THIS SITE LIES WITHIN THE BOUNDARIES OF THE 100 YEAR FLOODPLAIN AS SHOWN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 48453C0485J, EFFECTIVE DATE AUGUST 18, 2014, TRAVIS COUNTY, TEXAS AND INCORPORATED AREAS.

\_\_\_\_\_  
ALEX E. GRANADOS, P.E.  
REGISTERED PROFESSIONAL ENGINEER No. 130084  
KIMLEY-HORN AND ASSOCIATES, INC.  
10814 JOLLYVILLE ROAD  
AVALLON IV, SUITE 200  
AUSTIN, TEXAS 78759

I, JOHN G. MOSIER, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING, AND HEREBY CERTIFY THAT THIS PLAT COMPLIES WITH THE SURVEYING RELATED PORTIONS OF THE CITY OF MANOR, TEXAS SUBDIVISION ORDINANCE IS TRUE AND CORRECT, AND WAS PREPARED FROM AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION.

\_\_\_\_\_  
JOHN G. MOSIER  
REGISTERED PROFESSIONAL LAND SURVEYOR  
NO. 6330 — STATE OF TEXAS  
601 NW LOOP 410, SUITE 350  
SAN ANTONIO, TEXAS 78216  
Ph. 210-321-3402  
greg.mosier@kimley-horn.com

CITY OF MANOR ACKNOWLEDGMENTS

THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF MANOR CORPORATE CITY LIMITS AS OF THIS DATE. \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.

ACCEPTED AND AUTHORIZED FOR RECORD BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MANOR, TEXAS, ON THIS THE DATE. \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.

APPROVED: \_\_\_\_\_ ATTEST: \_\_\_\_\_  
PHILIP TRYON, CHAIRPERSON LLUVIA ALMARAZ, CITY SECRETARY

ACCEPTED AND AUTHORIZED FOR RECORD BY THE CITY COUNCIL OF THE CITY OF MANOR, TEXAS, ON THIS THE DATE. \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.

APPROVED: \_\_\_\_\_ ATTEST: \_\_\_\_\_  
DR. LARRY WALLACE, JR., MAYOR LLUVIA ALMARARZ, CITY SECRETARY

COUNTY OF TRAVIS:  
STATE OF TEXAS:  
KNOW ALL ME BY THESE PRESENTS:

I, DANA DEBEAUVOIR, CLERK OF TRAVIS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE DATE. \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_, AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_, DULY RECORDED ON THE DAY OF \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ IN THE PLAT RECORDS OF SAID COUNTY AND STATE IN DOCUMENT NUMBER \_\_\_\_\_, OFFICIAL RECORDS OF TRAVIS COUNTY, TEXAS.

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY CLERK, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.

DANA DEBEAUVOIR, COUNTY CLERK, TRAVIS  
COUNTY, TEXAS

BY: \_\_\_\_\_  
DEPUTY

GENERAL NOTES:

1. PROPERTY OWNERS OF THE LOTS ON WHICH THE PUBLIC UTILITY EASEMENT OR THE UNDERGROUND STORM WATER DRAINAGE FACILITIES EASEMENT ARE LOCATED AS SHOWN ON THIS PLAT SHALL PROVIDE ACCESS TO THE CITY OF MANOR IN ORDER FOR THE CITY OF MANOR TO INSPECT AND MAINTAIN THE UNDERGROUND FACILITIES LOCATED WITHIN ANY OF SUCH EASEMENTS.
2. A 10' PUBLIC UTILITY EASEMENT IS HEREBY DEDICATED ALONG AND ADJACENT TO ALL STREET RIGHTS OF WAY.
3. PUBLIC SIDEWALKS BUILT TO CITY OF MANOR STANDARDS, ARE REQUIRED ALONG ALL STREETS WITHIN THIS SUBDIVISION, THESE SIDEWALKS SHALL BE IN PLACE PRIOR TO THE ADJOINING LOT BEING OCCUPIED, FAILURE TO CONSTRUCT THE REQUIRED SIDEWALKS MAY RESULT IN THE WITHHOLDING OF CERTIFICATES OF OCCUPANCY. BUILDING PERMITS, OR UTILITY CONNECTIONS BY THE COVERING BODY OR UTILITY COMPANY.
4. DRIVEWAY AND DRAINAGE CONSTRUCTION STANDARDS SHALL BE IN ACCORDANCE WITH THE REQUIREMENT OF THE CITY OF MANOR STANDARDS UNLESS OTHERWISE SPECIFIED AND APPROVE BY THE CITY OF MANOR.
5. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTION IS MADE TO THE CITY OF MANOR WATER AND WASTEWATER SYSTEM.
6. NO BUILDINGS SHALL BE CONSTRUCTED OR MAINTAINED WITHIN THE PUBLIC UTILITIES EASEMENTS OR THE UNDERGROUND STORM WATER FACILITIES EASEMENT WITHOUT THE PRIOR WRITTEN APPROVAL OF THE CITY OF MANOR. THE CITY OF MANOR IS NOT RESPONSIBLE FOR THE DAMAGE TO OR REPLACING ANY PORTIONS OF ANY FENCING, LANDSCAPING OR OTHER IMPROVEMENTS CONSTRUCTED WITHIN ANY OF SUCH EASEMENTS WHICH WERE NOT APPROVED BY THE CITY OF MANOR BEFORE THEIR CONSTRUCTION DUE TO THE NECESSARY AND CUSTOMARY WORK BY THE CITY OF MANOR IN REPAIRING, MAINTAINING, OR REPLACING THE UNDERGROUND PIPES AND RELATED FACILITIES WITHIN SUCH EASEMENTS.
7. ALL STREETS, DRAINAGE IMPROVEMENTS, SIDEWALKS, WATER AND WASTEWATER LINES, AND EROSION CONTROLS SHALL BE CONSTRUCTED AND INSTALLED TO CITY OF MANOR STANDARDS.
8. EROSION CONTROLS ARE REQUIRED FOR ALL CONSTRUCTION ON INDIVIDUAL LOTS, INCLUDING DETACHED SINGLE FAMILY IN ACCORDANCE WITH SECTION 1.4.0 OF THE CITY OF AUSTIN ENVIRONMENTAL CRITERIA MANUAL.
9. ALL STREETS IN THE SUBDIVISION SHALL BE CONSTRUCTED TO CITY OF MANOR URBAN STREET STANDARDS. ALL STREETS WILL BE CONSTRUCTED WITH CURB AND GUTTER.
10. PRIOR TO CONSTRUCTION, EXCEPT DETACHED SINGLE FAMILY ON ANY LOT IN THIS SUBDIVISION, A SITE DEVELOPMENT PERMIT MUST BE OBTAINED FROM THE CITY OF MANOR.
11. THE SUBDIVISION OWNER/DEVELOPER AS IDENTIFIED ON THIS PLAN IS RESPONSIBLE FOR POSTING FISCAL SURVEY FOR THE CONSTRUCTION OF ALL SIDEWALKS AS SHOWN OR LISTED ON THE PLAN, WHETHER INSTALLED BY THE OWNER/DEVELOPER OR INDIVIDUAL HOMEBUILDERS. IT IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER TO ENSURE ALL SIDEWALKS ARE ADA COMPLIANT UNLESS A WAIVER HAS BEEN GRANTED BY THE TEXAS DEPARTMENT OF LICENSING AND REGULATION.
12. THE BEARINGS SHOWN HEREON ARE TIED TO THE TEXAS STATE PLANE COORDINATE SYSTEM GRID, CENTRAL ZONE 4203 (NAD'83), AS DETERMINED BY THE GLOBAL POSITIONING SYSTEM (GPS). ALL DISTANCES SHOWN HEREON ARE ON THE SURFACE. THE COMBINED SURFACE TO GRID SCALE FACTOR IS 0.99992097045. THE UNIT OF LINEAR MEASUREMENT IS U.S. SURVEY FEET.
13. THE BUILDING SETBACK LINES SHALL COMPLY WITH THE CITY'S ZONING ORDINANCE.
14. THE HOME OWNERS ASSOCIATION, AND/OR ITS SUCCESSORS AND ASSIGNS (THE "HOA") SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL NON-RESIDENTIAL LOTS THAT ARE DEDICATED TO THE HOA.
15. PER CITY OF MANOR ORDINANCE NO. 481, MINIMUM LOT SIZE SHALL BE 6000 Sq.Ft., AND THE MINIMUM LIVING AREA PER RESIDENTIAL UNIT SHALL BE 1500 Sq.Ft.
16. THE PROPERTY IS ZONED SINGLE FAMILY RESIDENTIAL (R-2) WITH CONDITIONS PER CITY OF MANOR ORDINANCE NO. 481.
17. LOT 88, BLOCK A, OPEN SPACE DRAINAGE LOT, LOT 92, BLOCK A, OPEN SPACE, LOT 26, BLOCK B, OPEN SPACE DRAINAGE LOT, AND LOT 11, BLOCK C, OPEN SPACE ARE DEDICATED TO THE HOMEOWNER ASSOCIATION, AND/OR ITS SUCCESSORS AND ASSIGNS (THE "HOA") SHALL BE RESPONSIBLE FOR MAINTENANCE OF THOSE LOTS.

SUBDIVISION PLAT ESTABLISHING

# MANOR HEIGHTS SOUTH PHASE 1 SECTION 2

BEING 16.848 ACRES OF LAND LOCATED IN THE A.C. CALDWELL SURVEY NUMBER 52, ABSTRACT NUMBER 154, AND THE CITY OF MANOR TRAVIS COUNTY, TEXAS AND BEING A PORTION OF THAT CERTAIN 267.942 ACRE TRACT OF LAND CONVEYED TO FORESTAR (USA) REAL ESTATE GROUP INC., AS DESCRIBED IN DOCUMENT NUMBER 2019171724, CORRECTED IN DOCUMENT NUMBER 2019176020, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

SEPTEMBER 2018



**JAY ENGINEERING COMPANY, INC.**

*P.O. Box 1220 (512) 259-3882  
Leander, TX 78646 Fax 259-8016  
Texas Registered Engineering Firm F-4780*

Date: Monday, July 16, 2018

Alex Granados  
Kimley-Horn  
10814 Jollyville Road  
Austin TX 78759  
alex.granados@kimley-horn.com

Permit Number 2018-P-1133-FP  
Job Address: Manor Heights Phase 1 Section 2 Final Plat, Manor, TX. 78653

Dear Alex Granados,

The first submittal of the Manor Heights Phase 1 Section 2 Final Plat (*Final Plat*) submitted by Kimley-Horn and received on March 19, 2020, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B.

### Engineer Review

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

1. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(ii), the date should be added to the final plat.
2. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(iii), the location map should be to a scale of 1" = 2000'.
3. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(v) the owner's names and the property lines of property within three hundred (300) feet of the subdivision boundary should be shown on the plat. There are lots in Presidential Glen where the owners are not shown.
4. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(x) requires that all variances approved by the Commission shall be shown on the final plat.
5. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(xi), where new streets are being created and named, the applicant must have documentation from Travis County 911 Addressing demonstrating that the street names proposed on the Final Plat are not duplicated within the County.
6. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(2)(iii), the location, dimensions, names and descriptions of all existing and recorded streets, alleys, reservations, railroads, easements or other public rights-of-way within the subdivision, intersecting or contiguous with its boundaries or forming such boundaries, as determined from current deed and plat records. The existing right-of-way width of any boundary street to the proposed subdivision shall also be shown.
7. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(2)(iv), the location of City limit lines and/or outer border of the City's extra-territorial jurisdiction, as depicted on the City's most recent base map, if either such line traverses the subdivision or is contiguous to the subdivision boundary.
8. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(3)(i), true bearings and distances to the nearest established street lines, official monuments, or existing subdivision corner which shall be accurately described on the plat and rotated to the state plane coordinate system. Using said system, X and Y coordinates shall be identified for four (4) property corners.
9. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(4)(vi), the location of building setback lines as required by the City's Zoning Ordinance designated by a plat note that states the following, "Setbacks shall comply with the City's Zoning Ordinance."
10. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(4)(viii), the proposed location of sidewalks for each street, to be shown as a dotted line inside the proposed right-of-way lines is required to be shown on the plat.
11. Note that if the construction of all improvements needed to serve the subdivision is not completed prior to the

filing of the plat for recordation then the developer must provide financial assurance for the completion of the remainder of those improvements in accordance with this Ordinance.

12. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(d)(iv), a copy of the deed restrictions or covenants, if such documents are to be used shall be submitted along with the Final Plat. These shall be filed for record in conjunction with the filing of the Final Plat.

13. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(d)(v), certification from all applicable taxing authorities that all taxes due on the property have been paid is required to be submitted.

14. The Linear Footage of the right-of-ways under General Information is missing the lengths.

15. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 45(a)(6), Blocks shall be identified on each plat by consecutive adjacent numbers within each subdivision and portion thereof. Blocks forming a continuation of a previous subdivision block shall continue the block number. The Block lettering for the project goes from B to G.

16. The Minimum Lot Width table should be filled in.

17. The Block/Lot/Classification/Ownership Designation table should be completely filled in.

18. A note should be added to the General Notes regarding who will maintain the non-residential lots.

19. Note number 11 under the General Notes should list the Document number.

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. Please include a comment response narrative indicating how comments have been addressed with your plan resubmittal. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

Additional comments may be generated as requested information is provided. Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.



September 13<sup>th</sup>, 2018

Pauline Gray, P.E.  
Jay Engineering Company, Inc  
P.O. Box 1220  
Leander, Texas

via E-Mail

RE: 2018-P-1133-FP  
Manor Heights Phase 1 Section 2 Final Plat, Manor, TX. 78653

Dear Pauline Gray,

Please accept this Comment Response Letter in reply to the City of Manor's review, dated July 16, 2018. Original comments have been included below for reference. All Kimley-Horn responses are written in red.

#### **Engineer Review**

The following comments have been provided by Pauline Gray, P.E. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at [pgray@jaeco.net](mailto:pgray@jaeco.net).

#### **NOT APPROVED "With comments"**

1. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(ii), the date should be added to the final plat.

**Response: The date has been added to the final plat.**

2. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(iii), the location map should be to a scale of 1" = 2000'.

**Response: Vicinity Map has been shown at 1:2000 scale.**

3. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(v) the owner's names and the property lines of property within three hundred (300) feet of the subdivision boundary should be shown on the plat. There are lots in Presidential Glen where the owners are not shown.

**Response: Owners in Presidential Glen have been shown.**

4. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(x) requires that all variances approved by the Commission shall be shown on the final plat.

**Response: Understood. All variances are shown on the final plat.**

5. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(xi), where new streets are being created and named, the applicant must have documentation from Travis County 911 Addressing demonstrating that the street names proposed on



the Final Plat are not duplicated within the County.

**Response: Documentation has been provided showing that street names are not duplicated.**

6. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(2)(iii), the location, dimensions, names and descriptions of all existing and recorded streets, alleys, reservations, railroads, easements or other public rights-of-way within the subdivision, intersecting or contiguous with its boundaries or forming such boundaries, as determined from current deed and plat records. The existing right-of-way width of any boundary street to the proposed subdivision shall also be shown.

**Response: Understood. All easement, boundary streets, and existing public right of ways have been shown.**

7. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(2)(iv), the location of City limit lines and/or outer border of the City's extra-territorial jurisdiction, as depicted on the City's most recent base map, if either such line traverses the subdivision or is contiguous to the subdivision boundary.

**Response: City of Manor ETJ and City of Manor City Limits have been shown on the final plat.**

8. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(3)(i), true bearings and distances to the nearest established street lines, official monuments, or existing subdivision corner which shall be accurately described on the plat and rotated to the state plane coordinate system. Using said system, X and Y coordinates shall be identified for four (4) property corners.

**Response: X and Y coordinates have been identified as requested.**

9. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(4)(vi), the location of building setback lines as required by the City's Zoning Ordinance designated by a plat note that states the following, "Setbacks shall comply with the City's Zoning Ordinance."

**Response: Setback note has been added.**

10. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(4)(viii), the proposed location of sidewalks for each street, to be shown as a dotted line inside the proposed right-of-way lines is required to be shown on the plat.

**Response: Sidewalks have been shown as requested.**

11. Note that if the construction of all improvements needed to serve the subdivision is not completed prior to the remainder of those improvements in accordance with this Ordinance.

**Response: Understood.**

12. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(d)(iv), a copy of the deed restrictions or covenants, if such documents

are to be used shall be submitted along with the Final Plat. These shall be filed for record in conjunction with the filing of the Final Plat.

**Response: Understood. These documents are not proposed with this final plat.**

13. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(d)(v), certification from all applicable taxing authorities that all taxes due on the property have been paid is required to be submitted.

**Response: Understood. Certification of taxes paid has been provided.**

14. The Linear Footage of the right-of-ways under General Information is missing the lengths.

**Response: General information has been updated to show lengths of right-of-ways.**

15. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 45(a)(6), Blocks shall be identified on each plat by consecutive adjacent numbers within each subdivision and portion thereof. Blocks forming a continuation of a previous subdivision block shall continue the block number. The Block lettering for the project goes from B to G.

**Response: Block G has been changed to Block C to maintain continuity.**

16. The Minimum Lot Width table should be filled in.

**Response: Understood. Minimum lot width table has been updated.**

17. The Block/Lot/Classification/Ownership Designation table should be completely filled in.

**Response: The Block/Lot/Classification/Ownership Designation table has been updated.**

18. A note should be added to the General Notes regarding who will maintain the non-residential lots.

**Response: Note has been added stating the the HOA will maintain non-residential lots.**

19. Note number 11 under the General Notes should list the Document number.

**Response: Note 11 has been removed.**

Please contact me at 512.782.0602 if additional information is required.  
Sincerely,



KIMLEY-HORN AND ASSOCIATES, INC.

Alex Granados, P.E.  
Alex.Granados@kimley-horn.com

Date: Friday, October 5, 2018

Alex Granados  
Kimley-Horn  
10814 Jollyville Road  
Austin TX 78759  
alex.granados@kimley-horn.com

Permit Number 2018-P-1133-FP  
Job Address: Manor Heights Phase 1 Section 2 Final Plat, Manor 78653

Dear Alex Granados,

The subsequent submittal of the Manor Heights Phase 1 Section 2 Final Plat submitted by Kimley-Horn and received on March 19, 2020, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):

#### **Engineer Review**

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

- ~~1. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(ii), the date should be added to the final plat.~~
- ~~2. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(iii), the location map should be to a scale of 1" = 2000'.~~
- 3. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(v) the owner's names and the property lines of property within three hundred (300) feet of the subdivision boundary should be shown on the plat. There are lots in Presidential Glen where the owners are not shown.**
- ~~4. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(x) requires that all variances approved by the Commission shall be shown on the final plat.~~
- ~~5. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(xi), where new streets are being created and named, the applicant must have documentation from Travis County 911 Addressing demonstrating that the street names proposed on the Final Plat are not duplicated within the County.~~
- ~~6. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(2)(iii), the location, dimensions, names and descriptions of all existing and recorded streets, alleys, reservations, railroads, easements or other public rights of way within the subdivision, intersecting or contiguous with its boundaries or forming such boundaries, as determined from current deed and plat records. The existing right of way width of any boundary street to the proposed subdivision shall also be shown.~~

- ~~7. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(2)(iv), the location of City limit lines and/or outer border of the City's extra-territorial jurisdiction, as depicted on the City's most recent base map, if either such line traverses the subdivision or is contiguous to the subdivision boundary.~~
- ~~8. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(3)(i), true bearings and distances to the nearest established street lines, official monuments, or existing subdivision corner which shall be accurately described on the plat and rotated to the state plane coordinate system. Using said system, X and Y coordinates shall be identified for four (4) property corners.~~
- ~~9. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(4)(vi), the location of building setback lines as required by the City's Zoning Ordinance designated by a plat note that states the following, "Setbacks shall comply with the City's Zoning Ordinance."~~
- ~~10. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(4)(viii), the proposed location of sidewalks for each street, to be shown as a dotted line inside the proposed right-of-way lines is required to be shown on the plat.~~
- ~~11. Note that if the construction of all improvements needed to serve the subdivision is not completed prior to the filing of the plat for recordation then the developer must provide financial assurance for the completion of the remainder of those improvements in accordance with this Ordinance.~~
- ~~12. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(d)(iv), a copy of the deed restrictions or covenants, if such documents are to be used shall be submitted along with the Final Plat. These shall be filed for record in conjunction with the filing of the Final Plat.~~
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- ~~16. The Minimum Lot Width table should be filled in.~~
- ~~17. The Block/Lot/Classification/Ownership Designation table should be completely filled in.~~
- ~~18. A note should be added to the General Notes regarding who will maintain the non-residential lots.~~
- ~~19. Note number 11 under the General Notes should list the Document number.~~
- 20. On Sheet 1 the references to Block A Lot one should be revised. Comments were sent out regarding changes to the lot.**
- 21. Verify that the proposed subdivision name is correct. Per development agreements the subdivision name should be Manor Heights South Phase 1 Section 2.**
- 22. This review letter should replace the previously sent review letter dated October 5, 2018.**



Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (512) 259-3882 ex. 307, or by e-mail at [pgray@jaeco.net](mailto:pgray@jaeco.net).

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,

A handwritten signature in blue ink, reading "Pauline M. Gray". The signature is fluid and cursive, with the first name "Pauline" and last name "Gray" clearly legible, and "M." as a middle initial.

Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.



January 4, 2019,

Pauline Gray, P.E.  
Jay Engineering Company, Inc  
P.O. Box 1220  
Leander, Texas

via E-Mail

RE: 2018-P-1133-FP  
Manor Heights Phase 1 Section 2 Final Plat, Manor, TX. 78653

Dear Pauline Gray,

Please accept this Comment Response Letter in reply to the City of Manor's review, dated October 5, 2018. Original comments have been included below for reference. All Kimley-Horn responses are written in red.

#### Engineer Review

The following comments have been provided by Pauline Gray, P.E. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at [pgray@jaeco.net](mailto:pgray@jaeco.net).

#### **NOT APPROVED "With comments"**

~~1. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(ii), the date should be added to the final plat.~~

~~2. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(iii), the location map should be to a scale of 1" = 2000'.~~

3. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(v) the owner's names and the property lines of property within three hundred (300) feet of the subdivision boundary should be shown on the plat. There are lots in Presidential Glen where the owners are not shown.

**Response: Owners in Presidential Glen have been shown.**

~~4. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(x) requires that all variances approved by the Commission shall be shown on the final plat.~~

~~5. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(xi), where new streets are being created and named, the applicant must have documentation from Travis County 911 Addressing demonstrating that the street names proposed on the Final Plat are not duplicated within the County.~~

~~6. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(2)(iii), the location, dimensions, names and descriptions of all existing and recorded streets, alleys, reservations, railroads, easements or other public rights-of-way within~~

~~the subdivision, intersecting or contiguous with its boundaries or forming such boundaries, as determined from current deed and plat records. The existing right-of-way width of any boundary street to the proposed subdivision shall also be shown.~~

~~7. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(2)(iv), the location of City limit lines and/or outer border of the City's extra-territorial jurisdiction, as depicted on the City's most recent base map, if either such line traverses the subdivision or is contiguous to the subdivision boundary.~~

~~8. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(3)(i), true bearings and distances to the nearest established street lines, official monuments, or existing subdivision corner which shall be accurately described on the plat and rotated to the state plane coordinate system. Using said system, X and Y coordinates shall be identified for four (4) property corners.~~

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~~11. Note that if the construction of all improvements needed to serve the subdivision is not completed prior to the remainder of those improvements in accordance with this Ordinance.~~

~~12. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(d)(iv), a copy of the deed restrictions or covenants, if such documents are to be used shall be submitted along with the Final Plat. These shall be filed for record in conjunction with the filing of the Final Plat.~~

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~~14. The Linear Footage of the right-of-ways under General Information is missing the lengths.~~

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~~16. The Minimum Lot Width table should be filled in.~~

~~17. The Block/Lot/Classification/Ownership Designation table should be completely filled in.~~

~~18. A note should be added to the General Notes regarding who will maintain the non-residential lots.~~

~~19. Note number 11 under the General Notes should list the Document number.~~

20. On Sheet 1 the references to Block A Lot one should be revised. Comments were sent out regarding changes to the lot.

**Response: Sheet one has been updated to reflect changes to Block A Lot 1.**

21. Verify that the proposed subdivision name is correct. Per development agreements the subdivision name should be Manor Heights South Phase 1 Section 2.

**Response: All references to the subdivision name have been changed to Manor Heights South Phase 1 Section 2.**

22. This review letter should replace the previously sent review letter dated October 5, 2018. Please contact me at 512.782.0602 if additional information is required.

**Response: Understood.**

Sincerely,



KIMLEY-HORN AND ASSOCIATES, INC.

Alex Granados, P.E.  
Alex.Granados@kimley-horn.com



Date: Friday, October 5, 2018

Alex Granados  
Kimley-Horn  
10814 Jollyville Road  
Austin TX 78759  
alex.granados@kimley-horn.com

Permit Number 2018-P-1133-FP  
Job Address: Manor Heights Phase 1 Section 2 Final Plat, Manor 78653

Dear Alex Granados,

The subsequent submittal of the Manor Heights Phase 1 Section 2 Final Plat submitted by Kimley-Horn and received on March 19, 2020, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):

#### **Engineer Review**

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

- ~~1. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(ii), the date should be added to the final plat.~~
- ~~2. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(iii), the location map should be to a scale of 1" = 2000'.~~
- 3. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(v) the owner's names and the property lines of property within three hundred (300) feet of the subdivision boundary should be shown on the plat. There are lots in Presidential Glen where the owners are not shown.**
- ~~4. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(x) requires that all variances approved by the Commission shall be shown on the final plat.~~
- ~~5. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(xi), where new streets are being created and named, the applicant must have documentation from Travis County 911 Addressing demonstrating that the street names proposed on the Final Plat are not duplicated within the County.~~
- ~~6. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(2)(iii), the location, dimensions, names and descriptions of all existing and recorded streets, alleys, reservations, railroads, easements or other public rights of way within the subdivision, intersecting or contiguous with its boundaries or forming such boundaries, as determined from current deed and plat records. The existing right of way width of any boundary street to the proposed subdivision shall also be shown.~~

- ~~7. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(2)(iv), the location of City limit lines and/or outer border of the City's extra-territorial jurisdiction, as depicted on the City's most recent base map, if either such line traverses the subdivision or is contiguous to the subdivision boundary.~~
- ~~8. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(3)(i), true bearings and distances to the nearest established street lines, official monuments, or existing subdivision corner which shall be accurately described on the plat and rotated to the state plane coordinate system. Using said system, X and Y coordinates shall be identified for four (4) property corners.~~
- ~~9. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(4)(vi), the location of building setback lines as required by the City's Zoning Ordinance designated by a plat note that states the following, "Setbacks shall comply with the City's Zoning Ordinance."~~
- ~~10. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(4)(viii), the proposed location of sidewalks for each street, to be shown as a dotted line inside the proposed right-of-way lines is required to be shown on the plat.~~
- ~~11. Note that if the construction of all improvements needed to serve the subdivision is not completed prior to the filing of the plat for recordation then the developer must provide financial assurance for the completion of the remainder of those improvements in accordance with this Ordinance.~~
- ~~12. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(d)(iv), a copy of the deed restrictions or covenants, if such documents are to be used shall be submitted along with the Final Plat. These shall be filed for record in conjunction with the filing of the Final Plat.~~
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- ~~16. The Minimum Lot Width table should be filled in.~~
- ~~17. The Block/Lot/Classification/Ownership Designation table should be completely filled in.~~
- ~~18. A note should be added to the General Notes regarding who will maintain the non-residential lots.~~
- ~~19. Note number 11 under the General Notes should list the Document number.~~
- 20. On Sheet 1 the references to Block A Lot one should be revised. Comments were sent out regarding changes to the lot.**
- 21. Verify that the proposed subdivision name is correct. Per development agreements the subdivision name should be Manor Heights South Phase 1 Section 2.**
- 22. This review letter should replace the previously sent review letter dated October 5, 2018.**

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (512) 259-3882 ex. 307, or by e-mail at [pgray@jaeco.net](mailto:pgray@jaeco.net).

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,

A handwritten signature in blue ink that reads "Pauline M. Gray". The signature is fluid and cursive, with the first name "Pauline" being more prominent than the last name "Gray".

Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.



May 31, 2019,

Pauline Gray, P.E.  
Jay Engineering Company, Inc  
P.O. Box 1220  
Leander, Texas

via E-Mail

RE: 2018-P-1133-FP  
Manor Heights Phase 1 Section 2 Final Plat, Manor, TX. 78653

Dear Pauline Gray,

Please accept this Comment Response Letter in reply to the City of Manor's review, dated February 1, 2019. Original comments have been included below for reference. All Kimley-Horn responses are written in red.

#### **Engineer Review**

The following comments have been provided by Pauline Gray, P.E. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at [pgray@jaeco.net](mailto:pgray@jaeco.net).

#### **NOT APPROVED "With comments"**

- ~~1. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(ii), the date should be added to the final plat.~~
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16. ~~The Minimum Lot Width table should be filled in.~~

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19. ~~Note number 11 under the General Notes should list the Document number.~~

20. ~~On Sheet 1 the references to Block A Lot one should be revised. Comments were sent out~~

~~regarding changes to the lot.~~

~~21. Verify that the proposed subdivision name is correct. Per development agreements the subdivision name should be Manor Heights South Phase 1 Section 2.~~

~~22. This review letter should replace the previously sent review letter dated October 5, 2018. Please contact me at 512.782.0602 if additional information is required.~~

23. Acreage should be added to lots to assist with identification and calculation of the applicable 183.7 acres of open space to be dedicated to the City for the entire project as provided for in the Development Agreement for the following lots:

- Block A, Lot 92 – Open space drainage;
- Block B, Lot 26 – Open space; and
- Block C, Lot 11 – Open space.

**Response: Acreage labels have been added for the above lots.**

24. On Sheet 3 the Owner Acknowledgement should be revised. Remove "Pete Dwyer" and insert correct name or a blank to be filled in.

**Response: The owner's information has been updated.**

25. Remove "three" from Note 6.

**Response: The word "three" has been removed.**

26. Note 8 should list what Environmental Criteria Manual is being referenced.

**Response: The City of Austin Environmental Criteria Manual has been referenced.**

27. Note 14 – should read as follows:

"The Home Owners Association, and/or its successors and assigns (the "HOA") shall be responsible for maintenance of all non-residential lots that are dedicated to the HOA."

**Response: Note 14 has been updated.**

28. Note 16 – should read as follows:

"The property is zoned single family residential (R-2) with conditions per City of Manor Ordinance No. 481."

**Response: Note 16 has been updated.**

29. Notes 17 and 18 should be deleted. Instead identify which open space drainage lots are dedicated to the HOA and which are dedicated to the City of Manor as part of the 183.7 acres listed in Exhibit F of the Development Agreement and add a new note(s) as follows:

"Lot 92, Block A, Open space drainage lot [insert any additional lots, if applicable] is [are] dedicated to the City of Manor, Texas. The Homeowner Association, and/or its successors and assigns (the "HOA") shall be responsible for maintenance of Lot 92 [insert any additional lots, if applicable] in accordance with that certain Development Agreement (Manor Heights) dated

effective November 7, 2018 (the "Development Agreement") and shall enter into a license agreement with the City in substantially the form provided in the Development Agreement. The City shall be responsible for maintenance of Lot 92 [insert any additional lots, if applicable] upon the termination of the license agreement or the termination of the maintenance period provided in the Development Agreement, whichever is longer."

**Response: Notes 17 and 18 have been deleted and open space lots have been identified per the above note.**

30. Delete Note 19.

**Response: Note 19 has been deleted.**

31. A new Note should be added to read as follows:

"Access to non-residential lots shall be provided to the City where maintenance is required to be performed by the City in accordance with that certain Development Agreement (Manor Heights) dated effective November 7, 2018."

**Response: The above note has been added to the Final Plat.**

Sincerely,



KIMLEY-HORN AND ASSOCIATES, INC.

Alex Granados, P.E.

Alex.Granados@kimley-horn.com

Date: Friday, February 1, 2019

Alex Granados  
Kimley-Horn  
10814 Jollyville Road  
Austin TX 78759  
alex.granados@kimley-horn.com

Permit Number 2018-P-1133-FP  
Job Address: Manor Heights Phase 1 Section 2 Final Plat, Manor 78653

Dear Alex Granados,

The subsequent submittal of the Manor Heights Phase 1 Section 2 Final Plat submitted by Kimley-Horn and received on March 19, 2020, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):

#### **Engineer Review**

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

- ~~1. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(ii), the date should be added to the final plat.~~
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~~22. This review letter should replace the previously sent review letter dated October 5, 2018.~~

**23. Acreage should be added to lots to assist with identification and calculation of the applicable 183.7 acres of open space to be dedicated to the City for the entire project as provided for in the Development Agreement for the following lots:**

**Block A, Lot 92 – Open space drainage;**

**Block B, Lot 26 – Open space; and**

**Block C, Lot 11 – Open space.**

**24. On Sheet 3 the Owner Acknowledgement should be revised. Remove "Pete Dwyer" and insert correct name or a blank to be filled in.**

**25. Remove "three" from Note 6.**

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**29. Notes 17 and 18 should be deleted. Instead identify which open space drainage lots are dedicated to the HOA and which are dedicated to the City of Manor as part of the 183.7 acres listed in Exhibit F of the Development Agreement and add a new note(s) as follows:**

**"Lot 92, Block A, Open space drainage lot *[insert any additional lots, if applicable]* is *[are]* dedicated to the City of Manor, Texas. The Homeowner Association, and/or its successors and assigns (the "HOA") shall be responsible for maintenance of Lot 92 *[insert any additional lots, if applicable]* in accordance with that certain Development Agreement (Manor Heights) dated effective November 7, 2018 (the "Development Agreement") and shall enter into a license agreement with the City in substantially the form provided in the Development Agreement. The City shall be responsible for maintenance of Lot 92 *[insert any additional lots, if applicable]* upon the termination of the license agreement or the termination of the maintenance period provided in the Development Agreement, whichever is longer."**

**30. Delete Note 19.**

**31. A new Note should be added to read as follows:**

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Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (512) 259-3882 ex. 307, or by e-mail at [pgray@jaeco.net](mailto:pgray@jaeco.net).

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.



December 17, 2019,

Pauline Gray, P.E.  
Jay Engineering Company, Inc  
P.O. Box 1220  
Leander, Texas

via E-Mail

RE: 2018-P-1133-FP  
Manor Heights Phase 1 Section 2 Final Plat, Manor, TX 78653  
Final Plat, 5<sup>th</sup> Review

Dear Pauline Gray,

Please accept this Comment Response Letter in reply to the City of Manor's review, dated June 27, 2019. Original comments have been included below for reference. All Kimley-Horn responses are written in red.

#### **Engineer Review**

The following comments have been provided by Pauline Gray, P.E. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at [pgray@jaeco.net](mailto:pgray@jaeco.net).

#### **NOT APPROVED "With comments"**

- ~~1. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(ii), the date should be added to the final plat.~~
- ~~2. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(iii), the location map should be to a scale of 1" = 2000'.~~
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~~the subdivision, intersecting or contiguous with its boundaries or forming such boundaries, as determined from current deed and plat records. The existing right-of-way width of any boundary street to the proposed subdivision shall also be shown.~~

~~7. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(2)(iv), the location of City limit lines and/or outer border of the City's extra-territorial jurisdiction, as depicted on the City's most recent base map, if either such line traverses the subdivision or is contiguous to the subdivision boundary.~~

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~~19. Note number 11 under the General Notes should list the Document number.~~

~~20. On Sheet 1 the references to Block A Lot one should be revised. Comments were sent out regarding changes to the lot.~~

~~21. Verify that the proposed subdivision name is correct. Per development agreements the subdivision name should be Manor Heights South Phase 1 Section 2.~~

~~22. This review letter should replace the previously sent review letter dated October 5, 2018. Please contact me at 512.782.0602 if additional information is required.~~

~~23. Acreage should be added to lots to assist with identification and calculation of the applicable 183.7 acres of open space to be dedicated to the City for the entire project as provided for in the Development Agreement for the following lots:~~

~~Block A, Lot 92 — Open space drainage;  
Block B, Lot 26 — Open space; and  
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~~24. On Sheet 3 the Owner Acknowledgement should be revised. Remove "Pete Dwyer" and insert correct name or a blank to be filled in.~~

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32. The City does not want the lots in Note 17 dedicated to the City. Note 17 should be revised as follows:

"Lot 88, Block A, Open Space Drainage Lot, Lot 92, Block A, Open Space, Lot 26, Block B, Open Space Drainage Lot, and Lot 11, Block C, Open Space are dedicated to the Homeowner Association. The Homeowner Association, and/or its successors and assigns (the "HOA") shall be responsible for maintenance of these lots."

Response: Understood and updated.

33. Note 18 should be deleted. After further review of Exhibit F in the Development Agreement and review of the locations of the lots inserted in the open space lots on the final plat, the lots shown on the final plat are not located in the areas that are required to be dedicated to the City and instead should be dedicated to the HOA.

Response: Understood and updated.

Sincerely,



KIMLEY-HORN AND ASSOCIATES, INC.

Alex Granados, P.E.  
Alex.Granados@kimley-horn.com

Date: Thursday, June 27, 2019

Alex Granados  
Kimley-Horn  
10814 Jollyville Road  
Austin TX 78759  
alex.granados@kimley-horn.com

Permit Number 2018-P-1133-FP  
Job Address: Manor Heights Phase 1 Section 2 Final Plat, Manor 78653

Dear Alex Granados,

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Thank you,



Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.

Date: Friday, January 10, 2020

Alex Granados  
Kimley-Horn  
10814 Jollyville Road  
Austin TX 78759  
alex.granados@kimley-horn.com

Permit Number 2018-P-1133-FP  
Job Address: Manor Heights Phase 1 Section 2 Final Plat, Manor 78653

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- 3. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(v) the owner's names and the property lines of property within three hundred (300) feet of the subdivision boundary should be shown on the plat. There are lots in Presidential Glen where the owners are not shown.**
- ~~4. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(x) requires that all variances approved by the Commission shall be shown on the final plat.~~
- ~~5. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(xi), where new streets are being created and named, the applicant must have documentation from Travis County 911 Addressing demonstrating that the street names proposed on the Final Plat are not duplicated within the County.~~
- ~~6. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(2)(iii), the location, dimensions, names and descriptions of all existing and recorded streets, alleys, reservations, railroads, easements or other public rights of way within the subdivision, intersecting or contiguous with its boundaries or forming such boundaries, as determined from current deed and plat records. The existing right of way width of any boundary street to the proposed subdivision shall also be shown.~~



- ~~7. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(2)(iv), the location of City limit lines and/or outer border of the City's extra-territorial jurisdiction, as depicted on the City's most recent base map, if either such line traverses the subdivision or is contiguous to the subdivision boundary.~~
- ~~8. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(3)(i), true bearings and distances to the nearest established street lines, official monuments, or existing subdivision corner which shall be accurately described on the plat and rotated to the state plane coordinate system. Using said system, X and Y coordinates shall be identified for four (4) property corners.~~
- ~~9. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(4)(vi), the location of building setback lines as required by the City's Zoning Ordinance designated by a plat note that states the following, "Setbacks shall comply with the City's Zoning Ordinance."~~
- ~~10. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(4)(viii), the proposed location of sidewalks for each street, to be shown as a dotted line inside the proposed right-of-way lines is required to be shown on the plat.~~
- ~~11. Note that if the construction of all improvements needed to serve the subdivision is not completed prior to the filing of the plat for recordation then the developer must provide financial assurance for the completion of the remainder of those improvements in accordance with this Ordinance.~~
- ~~12. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(d)(iv), a copy of the deed restrictions or covenants, if such documents are to be used shall be submitted along with the Final Plat. These shall be filed for record in conjunction with the filing of the Final Plat.~~
- ~~13. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(d)(v), certification from all applicable taxing authorities that all taxes due on the property have been paid is required to be submitted.~~
- ~~14. The Linear Footage of the right-of-ways under General Information is missing the lengths.~~

~~15. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 45(a)(6), Blocks shall be identified on each plat by consecutive adjacent numbers within each subdivision and portion thereof. Blocks forming a continuation of a previous subdivision block shall continue the block number. The Block lettering for the project goes from B to G.~~

~~16. The Minimum Lot Width table should be filled in.~~

~~17. The Block/Lot/Classification/Ownership Designation table should be completely filled in.~~

~~18. A note should be added to the General Notes regarding who will maintain the non-residential lots.~~

~~19. Note number 11 under the General Notes should list the Document number.~~

~~20. On Sheet 1 the references to Block A Lot one should be revised. Comments were sent out regarding changes to the lot.~~

~~21. Verify that the proposed subdivision name is correct. Per development agreements the subdivision name should be Manor Heights South Phase 1 Section 2.~~

~~22. This review letter should replace the previously sent review letter dated October 5, 2018.~~

~~23. Acreage should be added to lots to assist with identification and calculation of the applicable 183.7 acres of open space to be dedicated to the City for the entire project as provided for in the Development Agreement for the following lots:~~

~~Block A, Lot 92 — Open space drainage;~~

~~Block B, Lot 26 — Open space; and~~

~~Block C, Lot 11 — Open space.~~

~~24. On Sheet 3 the Owner Acknowledgement should be revised. Remove "Pete Dwyer" and insert correct name or a blank to be filled in.~~

~~25. Remove "three" from Note 6.~~

~~26. Note 8 should list what Environmental Criteria Manual is being referenced.~~

~~27. Note 14 — should read as follows:~~

~~"The Home Owners Association, and/or its successors and assigns (the "HOA") shall be responsible for maintenance of all non-residential lots that are dedicated to the HOA."~~

~~28. Note 16 — should read as follows:~~

~~"The property is zoned single family residential (R-2) with conditions per City of Manor Ordinance No. 481."~~

**29. Notes 17 and 18 should be deleted. Instead identify which open space drainage lots are dedicated to the HOA and which are dedicated to the City of Manor as part of the 183.7 acres listed in Exhibit F of the Development Agreement and add a new note(s) as follows:**

**~~"Lot 92, Block A, Open space drainage lot [insert any additional lots, if applicable] is [are] dedicated to the City of Manor, Texas. The Homeowner Association, and/or its successors and assigns (the "HOA") shall be responsible for maintenance of Lot 92 [insert any additional lots, if applicable] in accordance with that certain Development Agreement (Manor Heights) dated effective November 7, 2018 (the "Development Agreement") and shall enter into a license agreement with the City in substantially the form provided in the Development Agreement. The City shall be responsible for maintenance of Lot 92 [insert any additional lots, if applicable] upon the termination of the license agreement or the termination of the maintenance period provided in the Development Agreement, whichever is longer."~~**

**30. Delete Note 19.**

**31. A new Note should be added to read as follows:**

**~~"Access to non-residential lots shall be provided to the City where maintenance is required to be performed by the City in accordance with that certain Development Agreement (Manor Heights) dated effective November 7, 2018."~~**

**32. The City does not want the lots in Note 17 dedicated to the City. Note 17 should be revised as follows:**

**~~"Lot 88, Block A, Open Space Drainage Lot, Lot 92, Block A, Open Space, Lot 26, Block B, Open Space Drainage Lot, and Lot 11, Block C, Open Space are dedicated to the Homeowner Association. The Homeowner Association, and/or its successors and assigns (the "HOA") shall be responsible for maintenance of these lots."~~**

**33. Note 18 should be deleted. After further review of Exhibit F in the Development Agreement and review of the locations of the lots inserted in the open space lots on the final plat, the lots shown on the final plat are not located in the areas that are required to be dedicated to the City and instead should be dedicated to the HOA.**

**34. The City of Manor Mayor should be updated to Dr. Larry Wallace, Jr.**

**35. The P&Z Chairperson is Philip Tryon.**

**36. The City Secretary is Lluvia Almaraz.**

**37. The year should be updated to 2020 where applicable.**

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (512) 259-3882 ex. 307, or by e-mail at [pgray@jaeco.net](mailto:pgray@jaeco.net).

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,

A handwritten signature in blue ink, reading "Pauline M. Gray". The signature is fluid and cursive, with the first name "Pauline" being more prominent than the last name "Gray".

Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.



**JAY ENGINEERING COMPANY, INC.**

*P.O. Box 1220 (512) 259-3882  
Leander, TX 78646 Fax 259-8016  
Texas Registered Engineering Firm F-4780*

Date: Thursday, April 9, 2020

Alex Granados  
Kimley-Horn  
10814 Jollyville Road  
Austin TX 78759  
alex.granados@kimley-horn.com

Permit Number 2018-P-1133-FP  
Job Address: Manor Heights Phase 1 Section 2 Final Plat, Manor 78653

Dear Alex Granados,

We have conducted a review of the final plat for the above-referenced project, submitted by Alex Granados and received by our office on March 19, 2020, for conformance with City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A, Article II, Section 24. The Plat appears to be in general compliance with City Ordinance requirements and we, therefore, take no exception to their approval as presented. Please submit TWO (2) mylar copies of the final plat along with a current tax certificate and a check made out to Travis County for the filing fees to the City of Manor for signatures. One mylar is for City records and the other is for Travis County.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance. Please call if you have any questions or need additional information.

Sincerely,



Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.



## AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 13, 2020

PREPARED BY: Scott Dunlop, Assistant Development Director

DEPARTMENT: Development Services

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### AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Final Plat for Manor Heights Phase 2, Section 1, one hundred seventy (170) lots on 78.33 acres, more or less, and being located near US Hwy 290 E and Old Kimbro Road, Manor, TX. Applicant: Kimley-Horn & Associates Owner: Forestar (USA) Real Estate Group, Inc.

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### BACKGROUND/SUMMARY:

This plat is for Phase 2 Section 1 of Manor Heights. It has not been approved by our engineer.

PRESENTATION: ☐ YES ☐ NO

ATTACHMENTS: ☐ YES (IF YES, LIST IN ORDER TO BE PRESENTED) ☐ NO

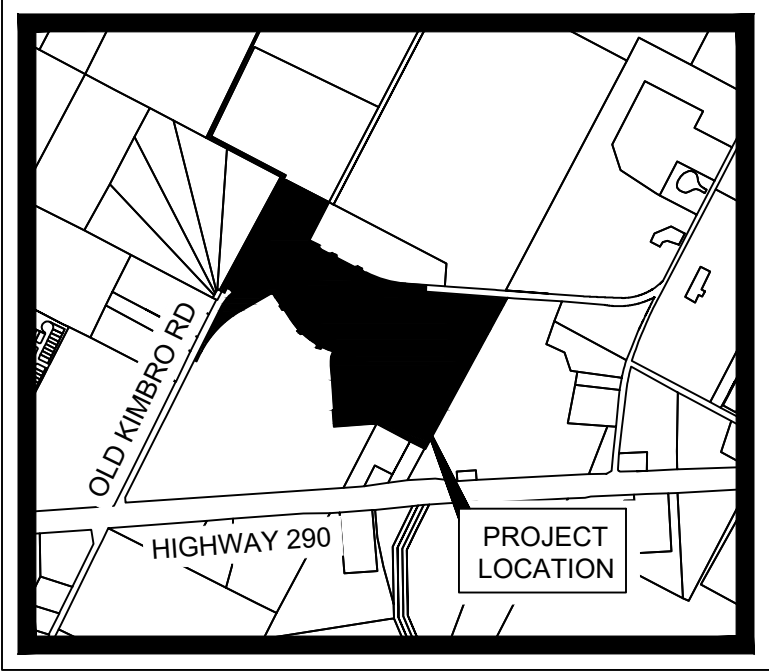
Plat

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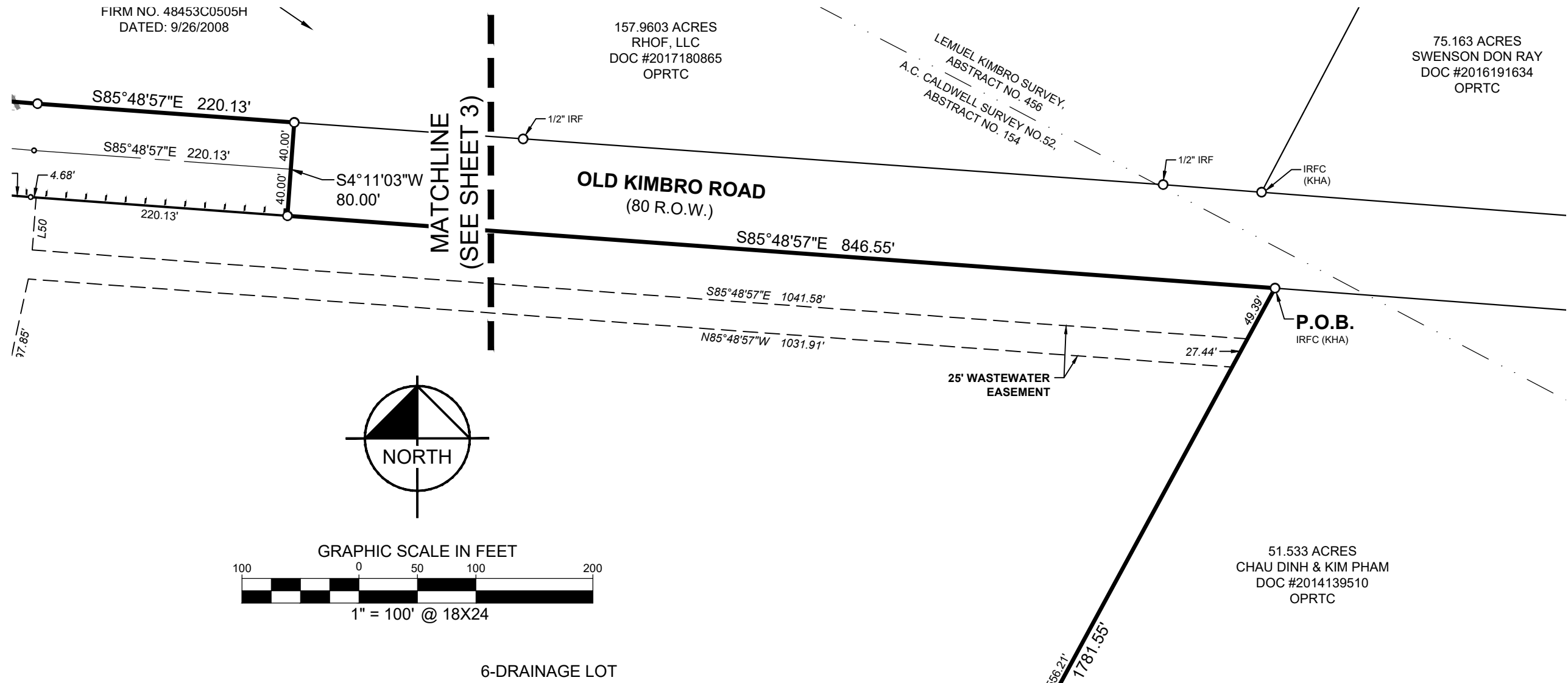
### STAFF RECOMMENDATION:

It is City staff's recommendation that the Planning and Zoning Commission deny a Final Plat for Manor Heights Phase 2, Section 1, one hundred seventy (170) lots on 78.33 acres, more or less, and being located near US Hwy 290 E and Old Kimbro Road, Manor, TX.

PLANNING & ZONING COMMISSION: ☐ RECOMMENDED APPROVAL ☐ DISAPPROVAL ☐ NONE



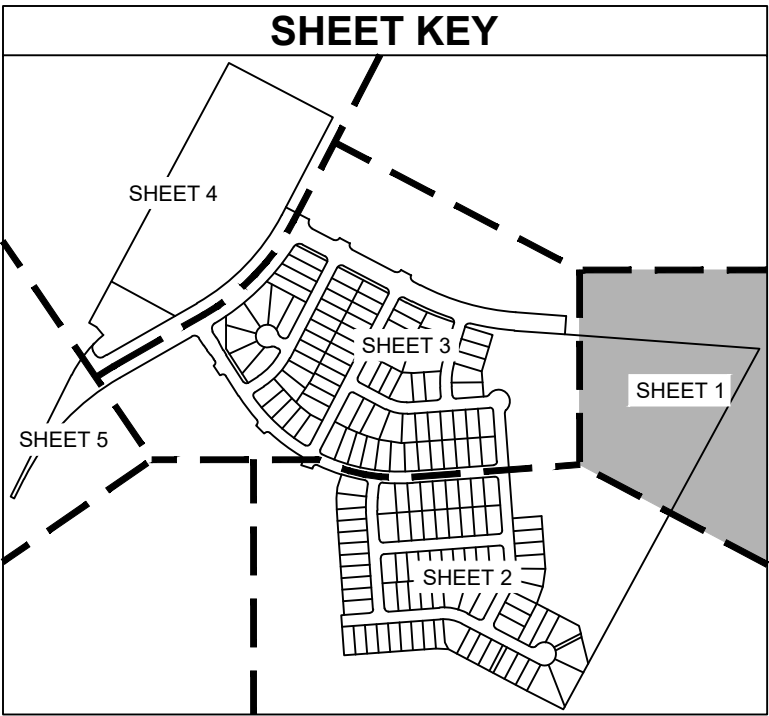
VICINITY MAP  
SCALE: 1" = 2,000'



CURVE TABLE						CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD	NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	7°45'03"	825.00'	111.60'	N68°39'06"W	111.52'	C41	90°00'00"	15.00'	23.56'	S40°44'38"W	21.21'
C2	97°22'38"	15.00'	25.49'	S66°32'07"W	22.53'	C42	90°00'00"	15.00'	23.56'	S49°15'22"E	21.21'
C3	1°50'28"	525.00'	16.87'	N18°00'20"E	16.87'	C43	87°16'14"	15.00'	22.85'	N36°11'05"W	20.70'
C4	78°36'23"	15.00'	20.58'	N19°56'26"W	19.00'	C44	87°16'14"	15.00'	22.85'	S51°05'09"W	20.70'
C5	11°42'16"	825.00'	168.53'	N53°06'54"W	168.24'	C45	92°05'35"	15.00'	24.11'	S18°28'42"E	21.60'
C6	87°16'14"	15.00'	22.85'	S89°06'07"W	20.70'	C46	93°56'30"	15.00'	24.59'	N74°32'20"E	21.93'
C7	87°16'14"	15.00'	22.85'	N01°49'53"E	20.70'	C47	93°01'01"	15.00'	24.35'	S10°45'40"W	21.76'
C8	9°04'25"	825.00'	130.65'	N37°16'02"W	130.51'	C48	90°00'00"	15.00'	23.56'	S77°43'50"E	21.21'
C9	90°00'00"	15.00'	23.56'	N77°43'50"W	21.21'	C49	4°30'37"	300.00'	23.62'	S30°28'31"E	23.61'
C10	90°00'00"	15.00'	23.56'	N12°16'10"E	21.21'	C50	4°30'37"	310.50'	24.44'	S30°28'31"E	24.44'
C11	4°30'37"	285.50'	22.47'	N34°59'08"W	22.47'	C51	91°47'54"	25.00'	40.05'	S13°10'07"W	35.91'
C12	4°30'37"	314.50'	24.76'	N34°59'08"W	24.75'	C52	90°00'00"	15.00'	23.56'	S72°34'05"W	21.21'
C13	87°00'00"	25.00'	37.96'	N76°13'50"W	34.42'	C53	90°00'00"	15.00'	23.56'	S17°25'55"E	21.21'
C14	24°02'19"	533.10'	223.66'	N38°23'55"E	222.03'	C54	90°00'00"	15.00'	23.56'	N40°44'38"E	21.21'
C15	89°58'58"	30.00'	47.11'	S17°26'26"E	42.42'	C55	90°00'00"	15.00'	23.56'	S49°15'22"E	21.21'
C16	90°00'00"	20.00'	31.42'	N72°34'05"E	28.28'	C56	90°00'00"	15.00'	23.56'	N49°15'22"W	21.21'
C17	90°00'00"	20.00'	31.42'	S17°25'55"E	28.28'	C57	90°00'00"	15.00'	23.56'	N40°44'38"E	21.21'
C18	90°00'00"	20.00'	31.42'	N72°34'05"E	28.28'	C58	90°00'00"	15.00'	23.56'	N49°15'22"W	21.21'
C19	90°00'00"	20.00'	31.42'	S17°25'55"E	28.28'	C59	90°00'00"	15.00'	23.56'	N40°44'38"E	21.21'
C20	23°23'02"	1060.00'	432.61'	S74°07'26"E	429.62'	C60	90°00'00"	15.00'	23.56'	N49°15'22"W	21.21'
C21	23°23'02"	1100.00'	448.94'	S74°07'26"E	445.83'	C61	84°42'11"	30.00'	44.35'	S75°13'00"W	40.42'
C22	32°43'07"	1000.00'	571.05'	N43°54'37"E	563.32'	C62	90°00'00"	20.00'	31.42'	N17°25'55"W	28.28'
C23	18°20'18"	1100.00'	352.07'	S51°06'02"W	350.57'	C63	90°00'00"	20.00'	31.42'	S72°34'05"W	28.28'
C24	61°31'33"	800.00'	859.06'	S63°29'36"E	818.38'	C64	90°00'00"	20.00'	31.42'	N17°25'55"W	28.28'
C25	31°53'21"	200.00'	111.31'	N11°41'18"E	109.88'	C65	90°00'00"	20.00'	31.42'	S72°34'05"W	28.28'
C26	31°53'21"	200.00'	111.31'	N78°18'42"W	109.88'	C66	88°13'37"	20.00'	30.80'	N27°34'13"W	27.84'
C27	11°42'25"	300.00'	61.30'	S01°35'50"W	61.19'	C67	87°19'35"	20.00'	30.48'	S60°12'23"W	27.62'
C28	10°29'03"	500.00'	91.49'	S22°19'34"W	91.36'	C68	76°37'28"	25.00'	33.43'	S06°01'26"W	31.00'
C29	31°49'28"	150.00'	83.32'	S78°20'39"E	82.25'	C69	88°16'44"	25.00'	38.52'	S76°25'38"E	34.82'
C30	20°47'58"	300.00'	108.90'	S06°08'36"W	108.31'	C70	90°29'53"	15.00'	23.69'	N17°10'58"W	21.31'
C31	29°42'05"	300.00'	155.52'	N42°25'08"E	153.78'	C71	90°00'00"	15.00'	23.56'	N72°34'05"E	21.21'
C32	52°01'12"	15.00'	13.62'	N59°44'01"E	13.16'	C72	52°01'12"	15.00'	13.62'	S36°25'19"E	13.16'
C33	194°02'25"	50.00'	169.33'	S49°15'22"E	99.25'	C73	52°01'12"	15.00'	13.62'	N88°26'31"W	13.16'
C34	52°01'12"	15.00'	13.62'	S21°45'14"W	13.16'	C74	284°02'25"	50.00'	247.87'	S27°34'05"W	61.54'
C35	90°00'00"	15.00'	23.56'	S17°22'02"E	21.21'	C75	4°36'36"	1255.00'	100.97'	S64°44'13"E	100.95'
C36	90°00'00"	15.00'	23.56'	N72°37'58"E	21.21'	C76	5°40'34"	1255.00'	124.33'	S69°52'47"E	124.28'
C37	76°39'27"	15.00'	20.07'	N79°18'14"E	18.61'						
C38	256°39'27"	50.00'	223.98'	N10°41'46"W	78.45'						
C39	90°00'00"	15.00'	23.56'	S49°15'22"E	21.21'						
C40	90°00'00"	15.00'	23.56'	N40°44'38"E	21.21'						

LINE TABLE			LINE TABLE		
NO.	BEARING	LENGTH	NO.	BEARING	LENGTH
L1	N01°52'06"W	47.91'	L25	N57°16'10"E	44.50'
L2	N05°42'09"E	47.12'	L26	S45°28'00"W	43.05'
L3	N17°28'23"E	58.50'	L27	N57°16'10"E	90.27'
L4	S17°27'55"W	6.32'	L28	N62°25'55"W	107.70'
L5	N72°54'57"W	50.00'	L29	N04°15'22"W	79.58'
L6	N19°08'40"E	4.00'	L30	N07°27'02"E	91.78'
L7	N59°06'20"W	3.98'	L31	N27°37'58"E	25.00'
L8	S45°28'00"W	4.00'	L32	S28°13'13"E	39.54'
L9	N44°32'00"W	50.00'	L33	S32°43'50"E	29.44'
L10	N45°28'00"E	4.00'	L34	S32°17'16"E	21.93'
L11	N32°43'50"W	103.99'	L35	S62°25'55"E	57.28'
L12	S57°16'10"W	4.00'	L36	N51°42'08"W	53.72'
L13	N33°52'34"W	50.01'	L37	N46°57'55"W	53.72'
L14	N32°43'50"W	8.19'	L38	N42°13'43"W	53.72'
L15	N37°14'27"W	27.24'	L39	N42°23'06"W	61.15'
L16	N32°43'50"W	35.18'	L40	S62°36'47"E	57.71'
L17	N40°17'42"W	46.07'	L41	S68°27'40"E	48.92'
L18	N61°40'04"W	35.46'	L42	S68°51'26"E	47.41'
L19	S62°26'57"E	114.00'	L43	S74°05'08"E	52.85'
L20	S62°25'55"E	104.53'	L44	S87°02'40"E	50.06'
L21	S62°25'55"E	50.00'	L45	S62°25'55"E	154.51'
L22	S62°25'55"E	50.00'	L46	S62°25'55"E	124.36'
L23	S62°25'55"E	35.45'	L47	S62°25'55"E	124.36'
L24	N27°33'03"E	39.32'	L48	S28°41'18"E	34.05'

LEGEND	
IRF	IRON ROD FOUND
IRFC	IRON ROD FOUND W/ CAP
IPF	IRON PIPE FOUND
P.O.B.	POINT OF BEGINNING
R.O.W.	RIGHT OF WAY
S.D.E.	SIGHT DISTANCE EASEMENT
OPRTC	OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY TEXAS
---	SIDEWALK
(A)	BLOCK IDENTIFIERS



SURVEYOR:  
KIMLEY-HORN AND ASSOCIATES, INC.  
601 NW LOOP 410, SUITE 350  
SAN ANTONIO, TEXAS 78216  
PH: (210) 541-9166 FAX: (210) 541-8699  
CONTACT: ABEL STENDAHL, R.P.L.S.  
TBPLS FIRM REGISTRATION NO. 10193973

CIVIL ENGINEER:  
KIMLEY-HORN AND ASSOCIATES, INC.  
10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 200  
AUSTIN, TEXAS 78759  
TBPE FIRM REGISTRATION NO. F-928  
PH: (512) 418-1771 FAX: (512) 418-1791  
CONTACT: ALEX GRANADOS, P.E.

OWNER/DEVELOPER:  
FORESTAR (USA) REAL ESTATE GROUP INC.,  
A DELAWARE CORPORATION  
2221 E. LAMAR BLVD., SUITE 790  
ARLINGTON, TEXAS 76006  
DALLAS COUNTY  
CONTACT: JOHN MABERRY

GENERAL INFORMATION:  
TOTAL ACREAGE.....78.330 ACRES  
TOTAL LINEAR FEET OF ROW.....10,539'  
LINEAR FEET OF 50' ROW.....7,839'  
LINEAR FEET OF 80' ROW.....1,287'  
LINEAR FEET OF 114' ROW.....1,413'  
ACREAGE OF ROW.....14.925 ACRES  
NUMBER OF SINGLE FAMILY LOTS.....160  
ACREAGE OF SINGLE FAMILY LOTS.....28.218 ACRES  
NUMBER OF NON-RESIDENTIAL LOTS.....10  
ACREAGE OF NON-RESIDENTIAL LOTS.....35.187 ACRES  
TOTAL NUMBER OF LOTS.....170

MANOR HEIGHTS PHASE 2, SECTION 1  
78.330 ACRES  
BEING PORTIONS OF A CALLED 157.9603 ACRE TRACT  
RECORDED IN DOCUMENT NO. 2017180865, OFFICIAL  
PUBLIC RECORDS OF TRAVIS COUNTY, A CALLED 90.0886  
ACRE TRACT RECORDED IN DOCUMENT NO. 2017194263,  
OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY,  
AND A PORTION OF OLD KIMBRO ROAD  
A.C. CALDWELL SURVEY NO. 52, ABSTRACT NO. 154  
CITY OF MANOR, TRAVIS COUNTY, TEXAS

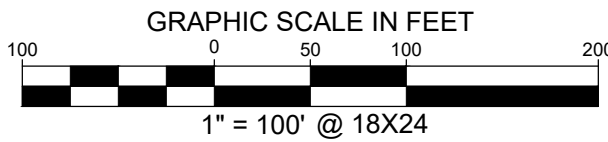
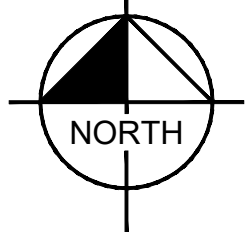
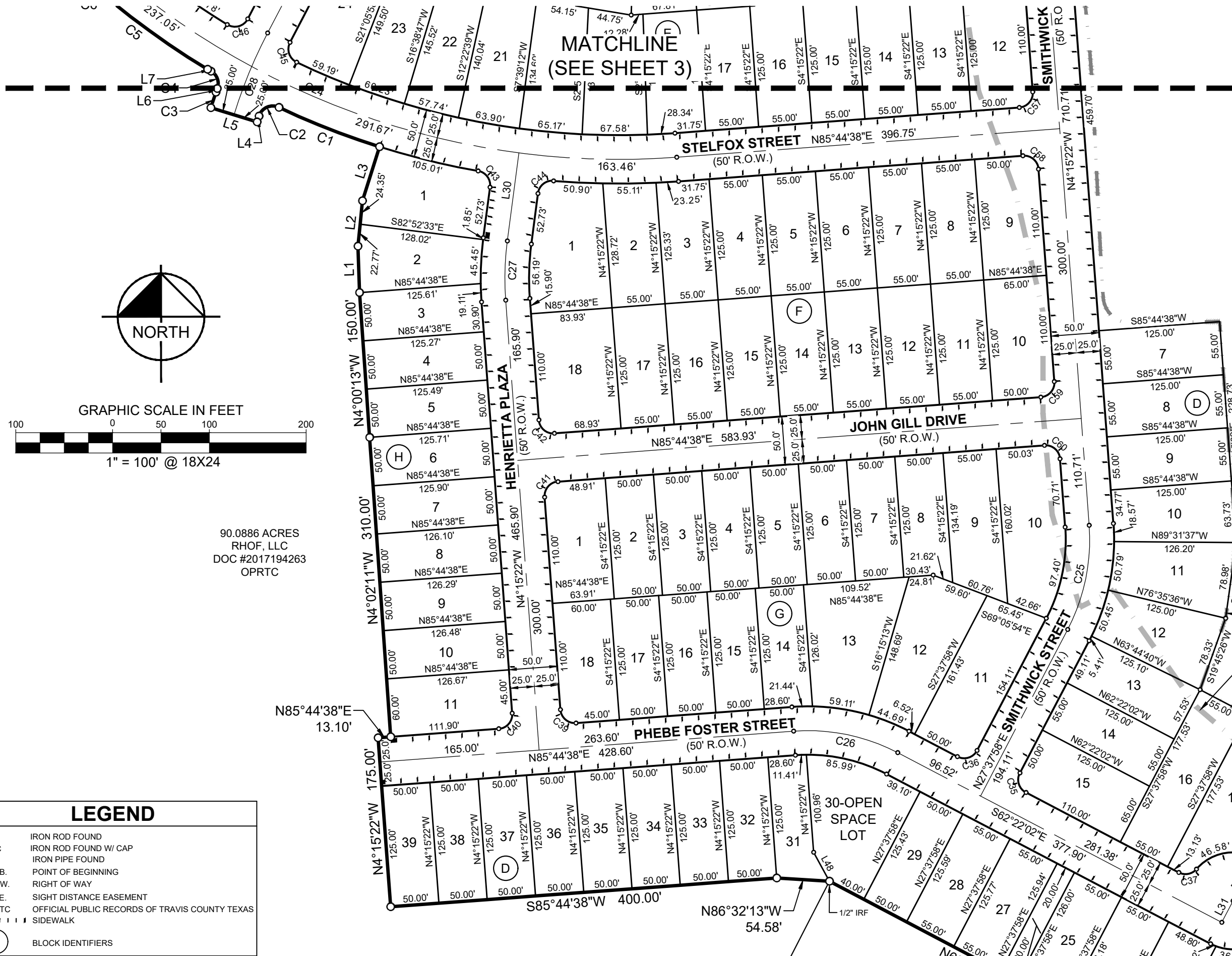
Kimley»Horn

601 NW Loop 410, Suite 350  
San Antonio, Texas 78216

FIRM # 10193973

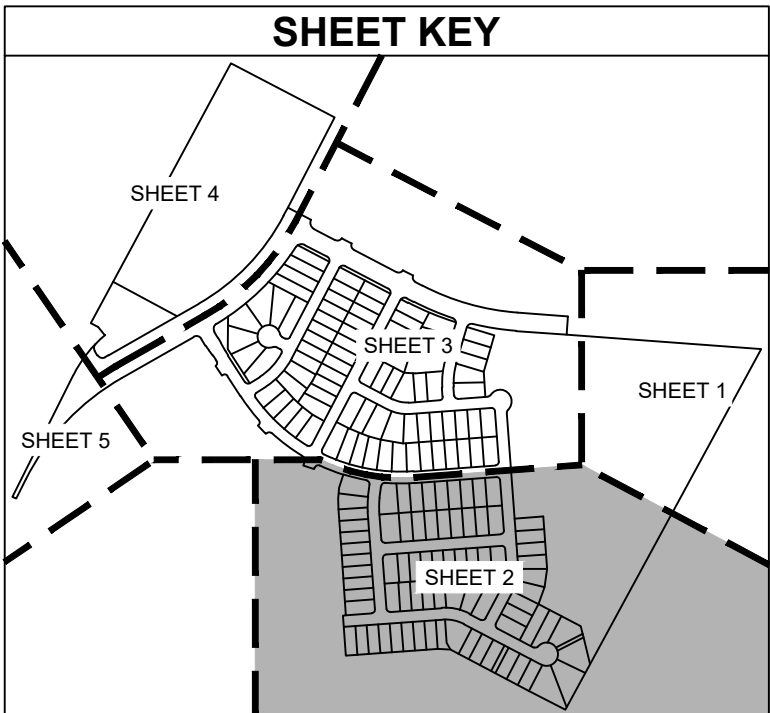
Tel. No. (210) 541-9166  
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	APS	JGM	4/21/2020	069255703	1 OF 7



90.0886 ACRES  
RHOF, LLC  
DOC #2017194263  
OPRTC

LEGEND	
IRF	IRON ROD FOUND
IRFC	IRON ROD FOUND W/ CAP
IPF	IRON PIPE FOUND
P.O.B.	POINT OF BEGINNING
R.O.W.	RIGHT OF WAY
S.D.E.	SIGHT DISTANCE EASEMENT
OPRTC	OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY TEXAS
----	SIDEWALK
(A)	BLOCK IDENTIFIERS



133.990 ACRES  
JUANITA MEIER & JOSIE E. CHAMPI  
VOL.11376, PG. 676, OPRTC  
(REMAINDER)

4.891 ACRES  
GRACE COVENANT CHRISTIAN  
CENTER OF AUSTIN, INC.  
DOC #2018034144  
OPRTC

TRACT II - 1.703 ACRES  
THUY TRANG NGOC VU  
AND THANH KIM NGUYEN  
DOC #2018146907,  
OPRTC

SURVEYOR:  
KIMLEY-HORN AND ASSOCIATES, INC.  
601 NW LOOP 410, SUITE 350  
SAN ANTONIO, TEXAS 78216  
PH: (210) 541-9166 FAX: (210) 541-8699  
CONTACT: ABEL STENDAHL, R.P.L.S.  
TBPLS FIRM REGISTRATION NO. 10193973

CIVIL ENGINEER:  
KIMLEY-HORN AND ASSOCIATES, INC.  
10814 JOLLYVILLE ROAD, AVALON IV, SUITE 200  
AUSTIN, TEXAS 78759  
TBPE FIRM REGISTRATION NO. F-928  
PH: (512) 418-1771 FAX: (512) 418-1791  
CONTACT: ALEX GRANADOS, P.E.

OWNER/DEVELOPER:  
FORESTAR (USA) REAL ESTATE GROUP INC.,  
A DELAWARE CORPORATION  
2221 E. LAMAR BLVD., SUITE 790  
ARLINGTON, TEXAS 76006  
DALLAS COUNTY  
CONTACT: JOHN MABERRY

6-DRAINAGE LOT

FULLY DEVELOPED  
100-YEAR FLOODPLAIN

ZONE 'A' PER FEMA  
FIRM NO. 48453C0505H  
DATED: 9/26/2008

19-DRAINAGE LOT

51.533 ACRES  
CHAU DINH & KIM PHAM  
DOC #2014139510  
OPRTC

GENERAL INFORMATION:	
TOTAL ACREAGE.....	78.330 ACRES
TOTAL LINEAR FEET OF ROW.....	10,539'
LINEAR FEET OF 50' ROW.....	7,839'
LINEAR FEET OF 80' ROW.....	1,287'
LINEAR FEET OF 114' ROW.....	1,413'
ACREAGE OF ROW.....	14.925 ACRES
NUMBER OF SINGLE FAMILY LOTS.....	160
ACREAGE OF SINGLE FAMILY LOTS.....	28.218 ACRES
NUMBER OF NON-RESIDENTIAL LOTS.....	10
ACREAGE OF NON-RESIDENTIAL LOTS.....	35.187 ACRES
TOTAL NUMBER OF LOTS.....	170

**MANOR HEIGHTS PHASE 2, SECTION 1**  
**78.330 ACRES**  
BEING PORTIONS OF A CALLED 157.9603 ACRE TRACT  
RECORDED IN DOCUMENT NO. 2017180865, OFFICIAL  
PUBLIC RECORDS OF TRAVIS COUNTY, A CALLED 90.0886  
ACRE TRACT RECORDED IN DOCUMENT NO. 2017194263,  
OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY,  
AND A PORTION OF OLD KIMBRO ROAD  
A.C. CALDWELL SURVEY NO. 52, ABSTRACT NO. 154  
CITY OF MANOR, TRAVIS COUNTY, TEXAS

**Kimley»Horn**

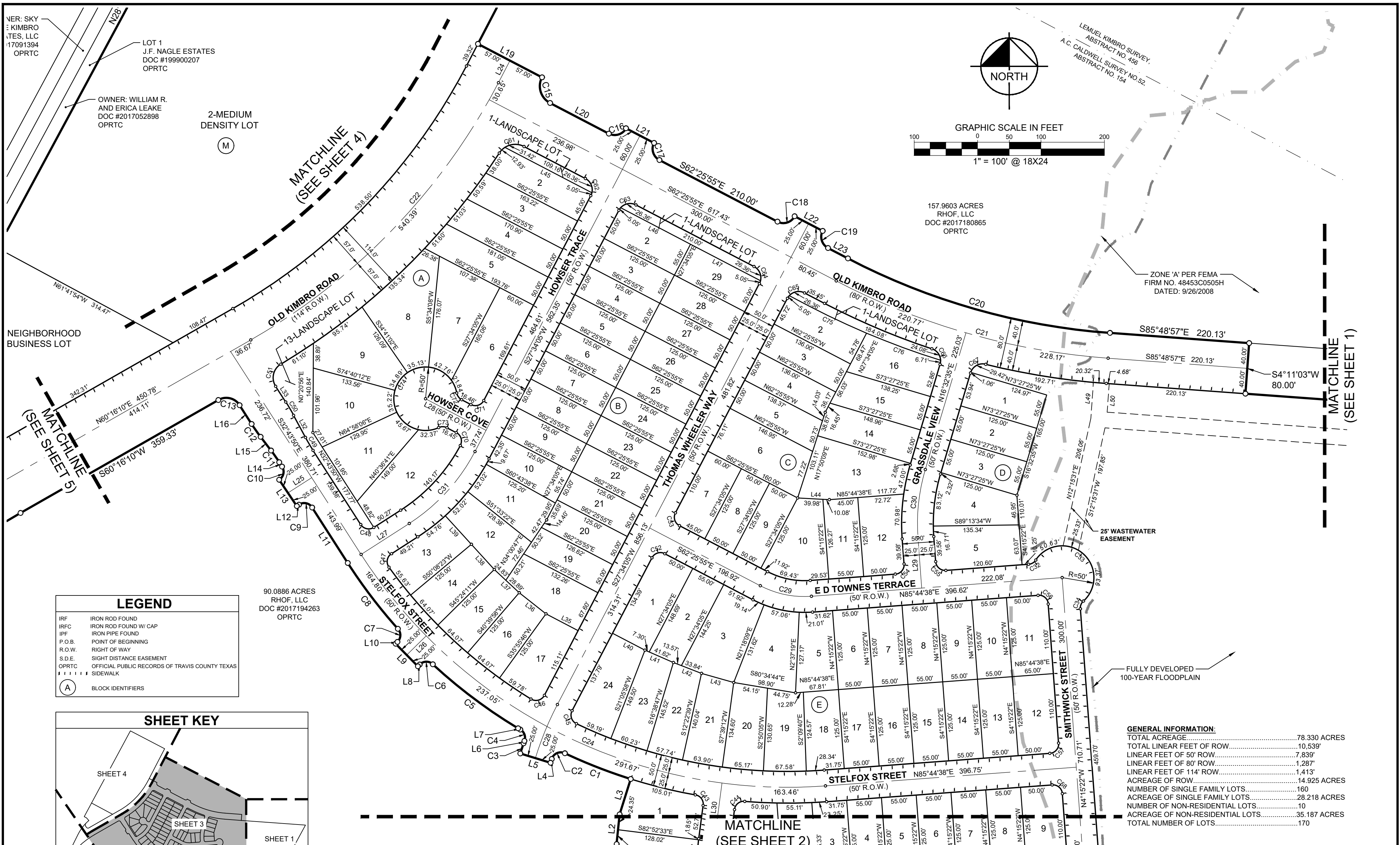
601 NW Loop 410, Suite 350  
San Antonio, Texas 78216

FIRM # 10193973

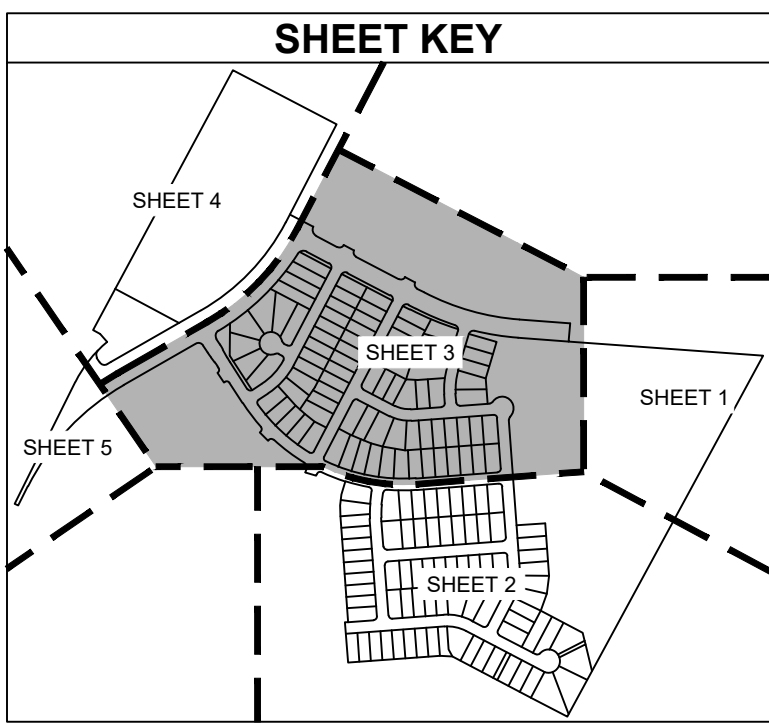
Tel. No. (210) 541-9166  
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	APS	JGM	4/21/2020	069255703	2 OF 7





LEGEND	
IRF	IRON ROD FOUND
IRFC	IRON ROD FOUND W/ CAP
IPF	IRON PIPE FOUND
P.O.B.	POINT OF BEGINNING
R.O.W.	RIGHT OF WAY
S.D.E.	SIGHT DISTANCE EASEMENT
OPRTC	OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY TEXAS
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LINEAR FEET OF 114' ROW.....	1,413'
ACREAGE OF ROW.....	14,925 ACRES
NUMBER OF SINGLE FAMILY LOTS.....	160
ACREAGE OF SINGLE FAMILY LOTS.....	23,622 ACRES
NUMBER OF NON-RESIDENTIAL LOTS.....	6
ACREAGE OF NON-RESIDENTIAL LOTS.....	18,281 ACRES
TOTAL NUMBER OF LOTS.....	137

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CIVIL ENGINEER:  
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TBPE FIRM REGISTRATION NO. F-928  
PH: (512) 418-1771 FAX: (512) 418-1791  
CONTACT: ALEX GRANADOS, P.E.

OWNER/DEVELOPER:  
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CONTACT: JOHN MABERRY

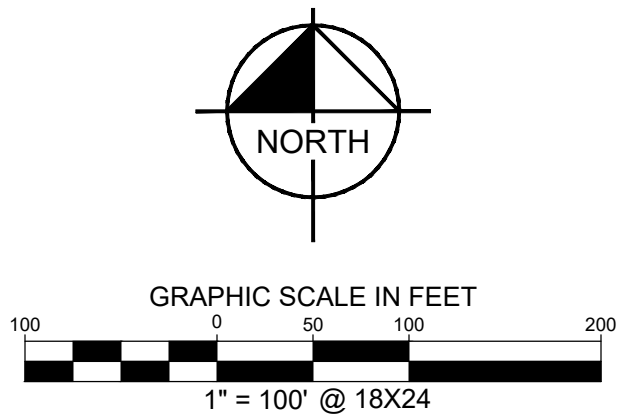
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**MANOR HEIGHTS PHASE 2, SECTION 1**  
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10.078 ACRES  
RANDALL JAMES MOE  
DOC #2003230676  
OPRTC

OWNER: WILLIAM R.  
& ERICA S. LEAKE  
DOC #2001013062  
OPRTC

LOT 3  
J.F. NAGLE ESTATES  
DOC #199900207  
OPRTC

LOT 2  
J.F. NAGLE ESTATES  
DOC #199900207  
OPRTC

OWNER: SKY  
VILLAGE KIMBRO  
ESTATES, LLC  
DOC #2017091394  
OPRTC

LOT 1  
J.F. NAGLE ESTATES  
DOC #199900207  
OPRTC

OWNER: WILLIAM R.  
AND ERICA LEAKE  
DOC #2017052898  
OPRTC

LOT 1  
J.F. NAGLE ESTATES  
DOC #199900207  
OPRTC

3.469 ACRES  
SKY VILLAGE KIMBRO  
ESTATES, LLC  
DOC #2017157471  
OPRTC

LEMUEL KIMBRO SURVEY,  
ABSTRACT NO. 469  
A.C. CALDWELL SURVEY NO. 52,  
ABSTRACT NO. 154

157.9603 ACRES  
RHOF, LLC  
DOC #2017180865  
OPRTC

2-MEDIUM  
DENSITY LOT

(M)

10.047 ACRES  
DANIEL PEREZ  
DOC #211148114  
OPRTC

10.078 ACRES  
RANDALL JAMES  
MOE  
DOC #2003230676  
OPRTC

1- NEIGHBORHOOD  
BUSINESS LOT

OLD KIMBRO ROAD  
(114' R.O.W.)

13- LANDSCAPE LOT

1- LANDSCAPE LOT

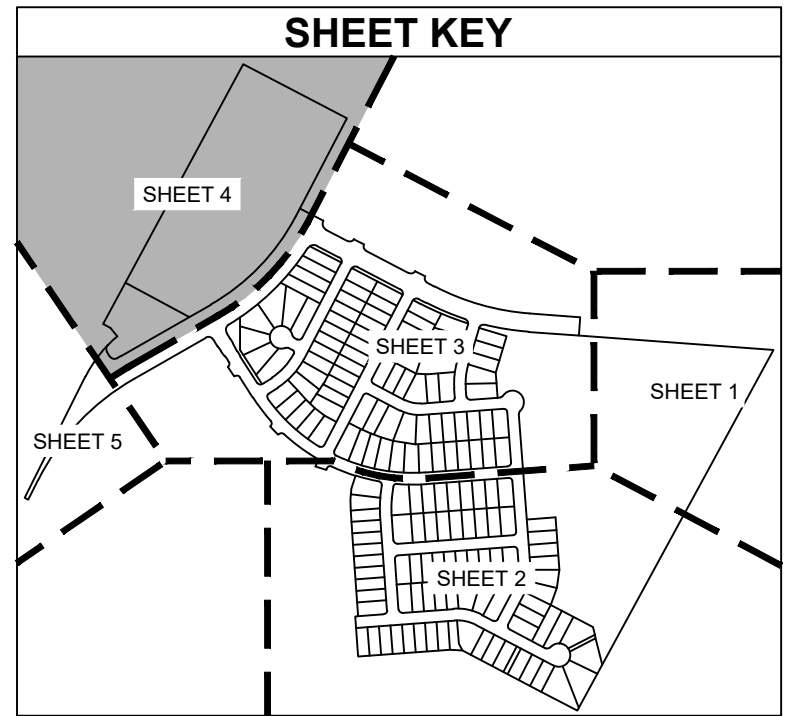
MATCHLINE  
(SEE SHEET 3)

HOWSER CO.  
L28 (50' R.O.W.)

SURVEYOR:  
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10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 200  
AUSTIN, TEXAS 78759  
TBPE FIRM REGISTRATION NO. F-928  
PH: (512) 418-1771 FAX: (512) 418-1791  
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LEGEND	
IRF	IRON ROD FOUND
IRFC	IRON ROD FOUND W/ CAP
IPF	IRON PIPE FOUND
P.O.B.	POINT OF BEGINNING
R.O.W.	RIGHT OF WAY
S.D.E.	SIGHT DISTANCE EASEMENT
OPRTC	OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY TEXAS
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(A)	BLOCK IDENTIFIERS

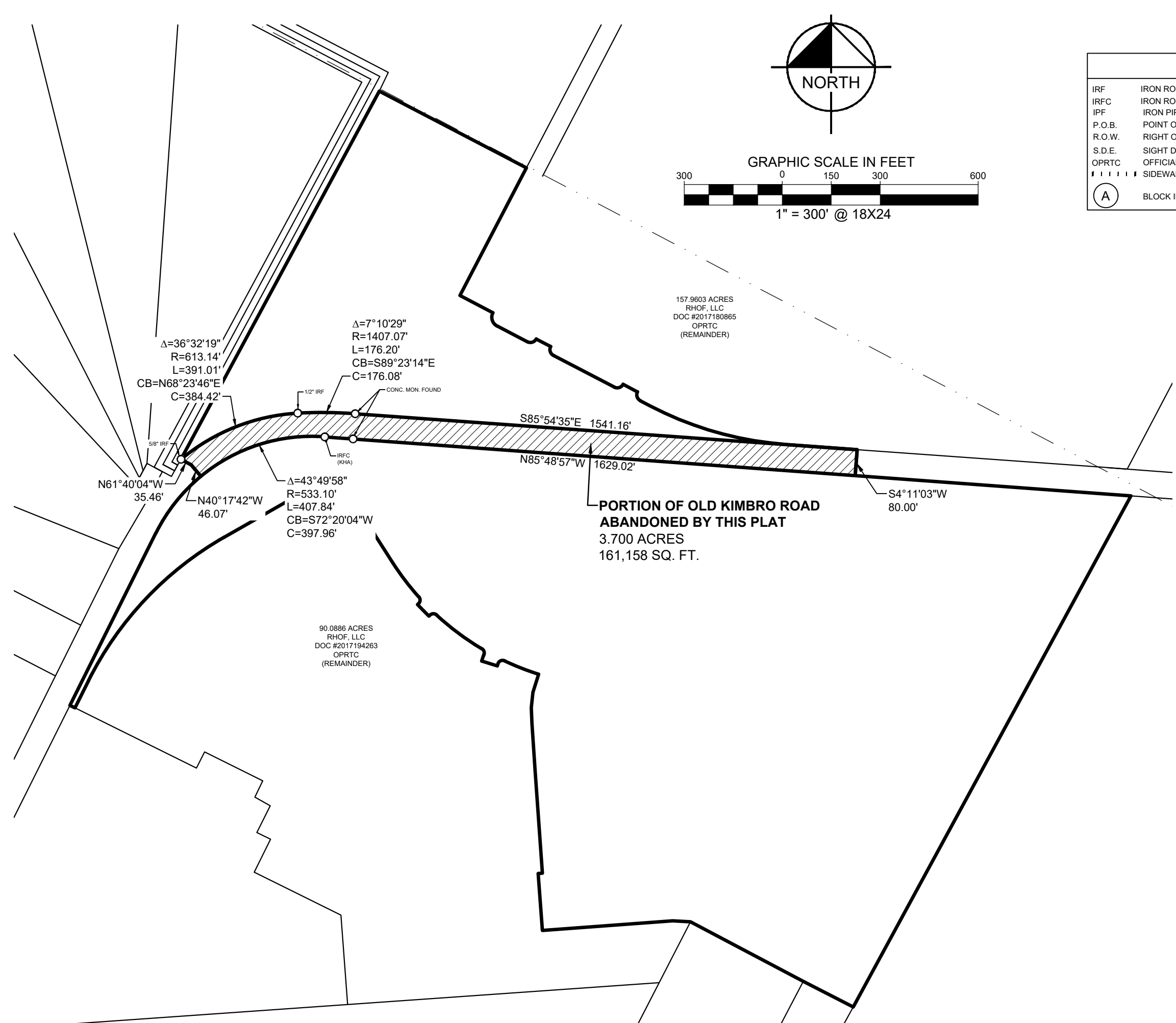
GENERAL INFORMATION:  
TOTAL ACREAGE.....78.330 ACRES  
TOTAL LINEAR FEET OF ROW.....10,539'  
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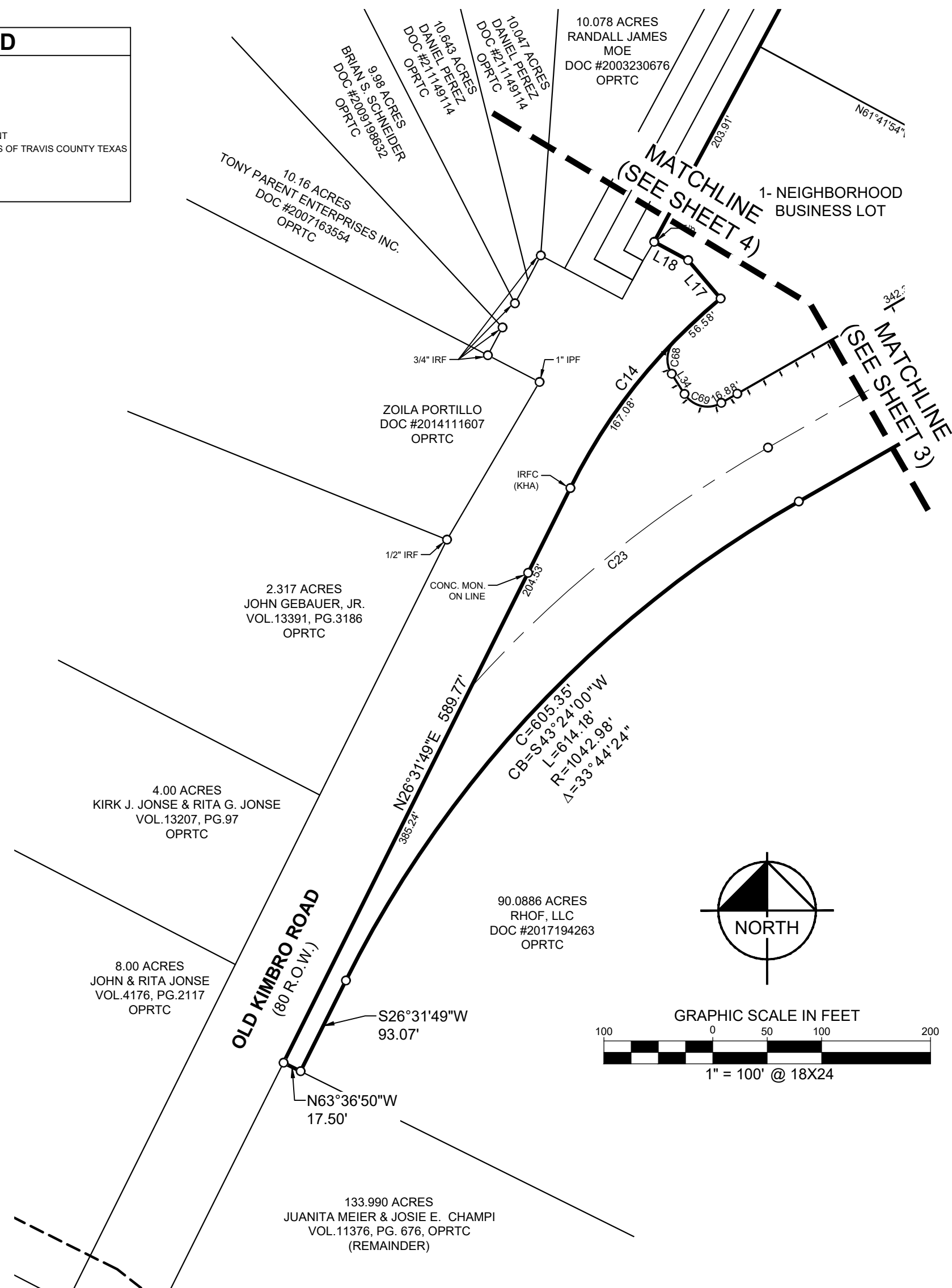
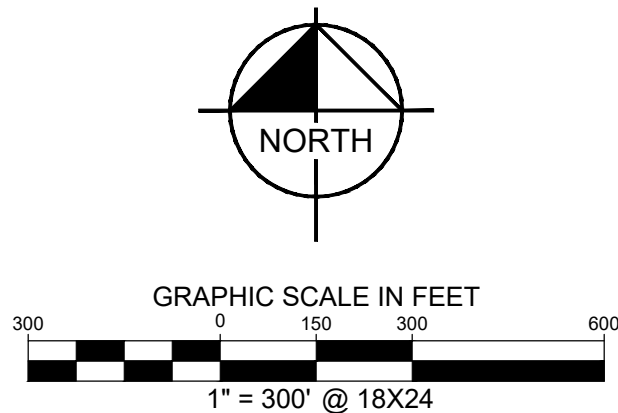
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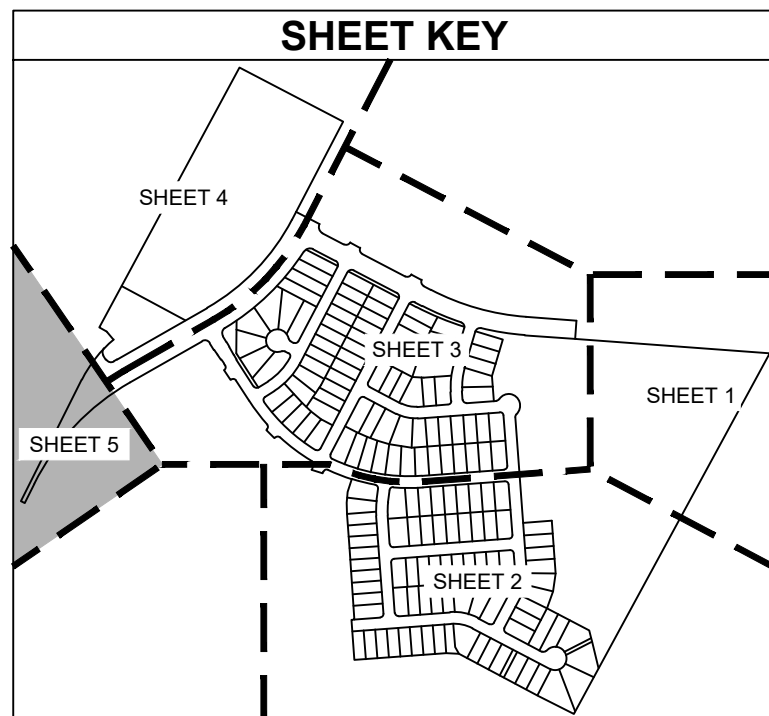
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A METES AND BOUNDS  
DESCRIPTION OF A  
78.330 ACRE TRACT OF LAND

**BEING** a 78.330 acre (3,412,054 square feet) tract of land situated in the A.C. Caldwell Survey No. 52, Abstract No. 154, City of Manor, Travis County, Texas; and being a portion of a called 157.9603 acre tract of land described in instrument to RHOF, LLC recorded in Document No. 2017180865 of the Official Public Records of Travis County; also being a portion of a called 90.0886 acre tract of land described in instrument to RHOF, LLC recorded in Document No. 2017194263 of the Official Public Records of Travis County; also being a portion of Old Kimbro Road (80 feet wide); and being more particularly described as follows:

**BEGINNING** at a 1/2-inch iron rod with a plastic cap stamped "KHA" found on the southerly right-of-way line of said Old Kimbro Road marking the northwestern-most corner of a called 51.533 acre tract of land described in instrument to Chau Dinh and Km Pham recorded in Document No. 2014139510 of the Official Public Records of Travis County;

**THENCE**, South 28°30'46" West, 1781.55 feet, departing the southerly right-of-way line of said Old Kimbro Road and along the northwesterly line of said 51.533 acre tract to a 1/2-inch iron rod found marking the northeast corner of a called 1.703 acre Tract II described in instrument to Thuy Trang Ngoc Vu and Thanh Kim Nguyen recorded in Document No. 2019146907 of the Official Public Records of Travis County;

**THENCE**, North 62°52'52" West, 172.05 feet, departing the northwesterly line of said 51.533 acre tract and along the northerly line of said Tract II to a 1/2-inch iron pipe found marking the northern-most corner of said Tract II, same being the northeastern-most corner of a called 4.981 acre tract of land described in instrument to Grace Covenant Christian Center of Austin, Inc. recorded in Document No. 2018034144 of the Official Public Records of Travis County;

**THENCE**, North 62°11'08" West, 390.53 feet along the northeasterly line of said 4.981 acre tract to a 1/2-inch iron rod found marking the northern-most corner of said 4.981 acre tract;

**THENCE**, departing from said 4.981 acre tract and crossing said 90.0886 acre tract, the following thirty-nine (39) courses and distances:

- North 86°32'13" West, 54.58 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 85°44'38" West, 400.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- North 4°15'22" West, 175.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- North 85°44'38" East, 13.10 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- North 4°02'11" West, 310.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- North 4°00'13" West, 150.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- North 1°52'06" West, 47.91 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- North 5°42'09" East, 47.12 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- North 17°28'23" East, 58.50 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- in a northwesterly direction, along a non-tangent curve to the right, a central angle of 7°45'03", a radius of 825.00 feet, a chord bearing and distance of North 68°39'06" West, 111.52 feet, and a total arc length of 111.60 feet to a point of reverse curvature;
- in a southwesterly direction, along a tangent reverse curve to the left, a central angle of 97°22'38", a radius of 15.00 feet, a chord bearing and distance of South 66°32'07" West, 22.53 feet, and a total arc length of 25.49 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of tangency;
- South 17°27'55" West, 6.32 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- North 72°54'57" West, 50.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- in a northeasterly direction, along a non-tangent curve to the right, a central angle of 1°50'28", a radius of 525.00 feet, a chord bearing and distance of North 18°00'20" East, 16.87 feet, and a total arc length of 16.87 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of tangency;
- North 19°08'40" East, 4.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
- in a northwesterly direction, along a tangent curve to the left, a central angle of 78°36'23", a radius of 15.00 feet, a chord bearing and distance of North 19°56'26" West, 19.00 feet, and a total arc length of 20.58 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of tangency;
- North 59°06'20" West, 3.98 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
- in a northwesterly direction, along a non-tangent curve to the right, a central angle of 11°42'16", a radius of 825.00 feet, a chord bearing and distance of North 53°06'54" West, 168.24 feet, and a total arc length of 168.53 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of reverse curvature;
- in a southwesterly direction, along a tangent reverse curve to the left, a central angle of 87°16'14", a radius of 15.00 feet, a chord bearing and distance of South 89°06'07" West, 20.70 feet, and a total arc length of 22.85 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of tangency;
- South 45°28'00" West, 4.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- North 44°32'00" West, 50.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- North 45°28'00" East, 4.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
- in a northeasterly direction, along a tangent curve to the left, a central angle of 87°16'14", a radius of 15.00 feet, a chord bearing and distance of North 1°49'53" East, 20.70 feet, and a total arc length of 22.85 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of reverse curvature;
- in a northwesterly direction, along a tangent reverse curve to the right, a central angle of 9°04'25", a radius of 825.00 feet, a chord bearing and distance of North 37°16'02" West, 130.51 feet, and a total arc length of 130.65 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of tangency;
- North 32°43'50" West, 103.99 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set fora point of curvature;
- in a northwesterly direction, along a tangent curve to the left, a central angle of 90°00'00", a radius of 15.00 feet, a chord bearing and distance of North 77°43'50" West, 21.21 feet, and a total arc length of 23.56 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set a point of tangency;
- South 57°16'10" West, 4.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- North 33°52'34" West, 50.01 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- in a northeasterly direction, along a non-tangent curve to the left, a central angle of 90°00'00", a radius of 15.00 feet, a chord bearing and distance of North 12°16'10" East, 21.21 feet, and a total arc length of 23.56 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of tangency;
- North 32°43'50" West, 8.19 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
- in a northwesterly direction, along a tangent curve to the left, a central angle of 4°30'37", a radius of 285.50 feet, a chord bearing and distance of North 34°59'08" West, 22.47 feet, and a total arc length of 22.47 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of tangency ;
- North 37°14'27" West, 27.24 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
- in a northwesterly direction, along a tangent curve to the right, a central angle of 4°30'37", a radius of 314.50 feet, a chord bearing and distance of North 34°59'08" West, 24.75 feet, and a total arc length of 24.76 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of tangency;
- North 32°43'50" West, 35.18 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
- in a northwesterly direction, along a tangent curve to the left, a central angle of 87°00'00", a radius of 25.00 feet, a chord bearing and distance of North 76°13'50" West, 34.42 feet, and a total arc length of 37.96 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of tangency;
- South 60°16'10" West, 359.33 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
- in a southwesterly direction, along a tangent curve to the left, a central angle of 33°44'24", a radius of 1042.98 feet, a chord bearing and distance of South 43°24'00" West, 605.35 feet, and a total arc length of 614.18 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of tangency;
- South 26°31'49" West, 93.07 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- North 63°36'50" West, 17.50 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner on the southeasterly right-of-way line of aforesaid Old Kimbro Road;

**THENCE**, along the southeasterly right-of-way line of said Old Kimbro Road, the following two (2) courses and distances:

- North 26°31'49" East, 589.77 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" found for a point of curvature;
- in a northeasterly direction, along a tangent curve to the right, a central angle of 24°02'19", a radius of 533.10 feet, a chord bearing and distance of North 38°23'55" East, 222.03 feet, and a total arc length of 223.66 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;

**THENCE**, departing the southeasterly right-of-way line of and crossing said Old Kimbro Road, the following two (2) courses and distances:

- North 40°17'42" West, 46.07 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- North 61°40'04" West, 35.46 feet to a 5/8-inch iron rod found marking the southwestern-most corner of aforesaid 157.9603 acre tract on the southeasterly line of Lot 1 of J.F. Nagle Estates, plat of which recorded in Document No. 199900207 of the Official Public Records of Travis County;

**THENCE**, along the boundary of said Lot 1, the following two (2) courses and distances:

- North 28°18'06" East, 1281.19 feet to a 1/2-inch iron rod found for corner;
- South 62°26'50" East, 508.24 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set marking the easterly southeast corner of said Lot 1, same being the southwest corner of a called 3.469 acre tract of land described in instrument to Sky Village Kimbro Estates, LLC recorded in Document No. 2017157471 of the Official Public Records of Travis County;

**THENCE**, departing from said Lot 1 and said 3.469 acre tract and crossing said 157.9603 acre tract, the following fourteen (14) courses and distances:

- South 27°30'26" West, 441.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 62°26'57" East, 114.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- in a southeasterly direction, along a non-tangent curve to the left, a central angle of 89°58'58", a radius of 30.00 feet, a chord bearing and distance of South 17°26'26" East, 42.42 feet, and a total arc length of 47.11 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of tangency;
- South 62°25'55" East, 104.53 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
- in a northeasterly direction, along a tangent curve to the left, a central angle of 90°00'00", a radius of 20.00 feet, a chord bearing and distance of North 72°34'05" East, 28.28 feet, and a total arc length of 31.42 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 62°25'55" East, 50.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- in a southeasterly direction, along a non-tangent curve to the left, a central angle of 90°00'00", a radius of 20.00 feet, a chord bearing and distance of South 17°25'55" East, 28.28 feet, and a total arc length of 31.42 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for point of tangency;
- South 62°25'55" East, 210.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
- in a northeasterly direction, along a tangent curve to the left, a central angle of 90°00'00", a radius of 20.00 feet, a chord bearing and distance of North 72°34'05" East, 28.28 feet, and a total arc length of 31.42 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 62°25'55" East, 50.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- in a southeasterly direction, along a non-tangent curve to the left, a central angle of 90°00'00", a radius of 20.00 feet, a chord bearing and distance of South 17°25'55" East, 28.28 feet, and a total arc length of 31.42 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of tangency;
- South 62°25'55" East, 35.45 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
- in a southeasterly direction, along a tangent curve to the left, a central angle of 23°23'02", a radius of 1060.00 feet, a chord bearing and distance of South 74°07'26" East, 429.62 feet, and a total arc length of 432.61 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 85°48'57" East, 220.13 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner on the northerly right-of-way line of aforesaid Old Kimbro Road;

**THENCE**, South 4°11'03" West, 80.00 feet, departing the northerly line of and crossing said Old Kimbro Road to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner on the southerly right-of-way line of said Old Kimbro Road;

**THENCE**, South 85°48'57" East, 846.55 feet along the southerly right-of-way line of said Old Kimbro Road to the **POINT OF BEGINNING**, and containing 78.330 acres of land in Travis County, Texas. The basis of bearing for this description is the Texas State Plane Coordinate System Grid, Central Zone (FIPS 4203) (NAD'83). All distances are on the surface and shown in U.S. Survey Feet. To convert grid distances to grid, apply the combined SURFACE to GRID scale factor of 0.99992097045. This document was prepared in the office of Kimley-Horn and Associates, Inc. in San Antonio, Texas.

LOT TABLE		
LOT NO.	ACRES	SQ. FT.
BLOCK A LOT 1-LANDSCAPE	0.049	2,129
BLOCK A LOT 2	0.184	8,008
BLOCK A LOT 3	0.192	8,343
BLOCK A LOT 4	0.202	8,788
BLOCK A LOT 5	0.215	9,360
BLOCK A LOT 6	0.247	10,779
BLOCK A LOT 7	0.277	12,058
BLOCK A LOT 8	0.309	13,472
BLOCK A LOT 9	0.251	10,927
BLOCK A LOT 10	0.243	10,567
BLOCK A LOT 11	0.223	9,696
BLOCK A LOT 12	0.275	11,965
BLOCK A LOT 13-LANDSCAPE	0.190	8,291
BLOCK B LOT 1-LANDSCAPE	0.082	3,580
BLOCK B LOT 2	0.158	6,874
BLOCK B LOT 3	0.143	6,250
BLOCK B LOT 4	0.143	6,250
BLOCK B LOT 5	0.143	6,250
BLOCK B LOT 6	0.143	6,250
BLOCK B LOT 7	0.143	6,250
BLOCK B LOT 8	0.143	6,250
BLOCK B LOT 9	0.143	6,250
BLOCK B LOT 10	0.155	6,738
BLOCK B LOT 11	0.181	7,884
BLOCK B LOT 12	0.191	8,332
BLOCK B LOT 13	0.181	7,874
BLOCK B LOT 14	0.169	7,383
BLOCK B LOT 15	0.169	7,383
BLOCK B LOT 16	0.169	7,383
BLOCK B LOT 17	0.195	8,478
BLOCK B LOT 18	0.196	8,532
BLOCK B LOT 19	0.149	6,472
BLOCK B LOT 20	0.144	6,262
BLOCK B LOT 21	0.143	6,250
BLOCK B LOT 22	0.143	6,250
BLOCK B LOT 23	0.143	6,250
BLOCK B LOT 24	0.143	6,250
BLOCK B LOT 25	0.143	6,250
BLOCK B LOT 26	0.143	6,250
BLOCK B LOT 27	0.143	6,250
BLOCK B LOT 28	0.143	6,250
BLOCK B LOT 29	0.158	6,874
BLOCK C LOT 1-LANDSCAPE	0.080	3,465
BLOCK C LOT 2	0.161	7,033
BLOCK C LOT 3	0.156	6,800
BLOCK C LOT 4	0.156	6,816
BLOCK C LOT 5	0.164	7,133
BLOCK C LOT 6	0.268	11,680
BLOCK C LOT 7	0.171	7,452
BLOCK C LOT 8	0.143	6,250
BLOCK C LOT 9	0.143	6,250
BLOCK C LOT 10	0.221	9,639
BLOCK C LOT 11	0.158	6,881
BLOCK C LOT 12	0.190	8,257
BLOCK C LOT 13	0.281	12,244
BLOCK C LOT 14	0.192	8,357
BLOCK C LOT 15	0.181	7,898
BLOCK C LOT 16	0.189	8,231

LOT TABLE		
LOT NO.	ACRES	SQ. FT.
BLOCK D LOT 1	0.158	6,875
BLOCK D LOT 2	0.158	6,875
BLOCK D LOT 3	0.158	6,875
BLOCK D LOT 4	0.198	8,619
BLOCK D LOT 5	0.208	9,060
BLOCK D LOT 6-DRAINAGE	21.189	923,014
BLOCK D LOT 7	0.158	6,875
BLOCK D LOT 8	0.158	6,875
BLOCK D LOT 9	0.158	6,875
BLOCK D LOT 10	0.168	7,324
BLOCK D LOT 11	0.185	8,042
BLOCK D LOT 12	0.182	7,948
BLOCK D LOT 13	0.161	7,003
BLOCK D LOT 14	0.158	6,875
BLOCK D LOT 15	0.185	8,077
BLOCK D LOT 16	0.224	9,764
BLOCK D LOT 17	0.207	9,017
BLOCK D LOT 18	0.256	11,172
BLOCK D LOT 19-DRAINAGE	0.044	1,931
BLOCK D LOT 20	0.298	12,993
BLOCK D LOT 21	0.340	14,828
BLOCK D LOT 22	0.357	15,550
BLOCK D LOT 23	0.160	6,955
BLOCK D LOT 24	0.159	6,945
BLOCK D LOT 25	0.159	6,935
BLOCK D LOT 26-DRAINAGE	0.058	2,519
BLOCK D LOT 27	0.159	6,922
BLOCK D LOT 28	0.159	6,912
BLOCK D LOT 29	0.144	6,276
BLOCK D LOT 30-OPEN SPACE	0.256	11,132
BLOCK D LOT 31	0.122	5,312
BLOCK D LOT 32	0.143	6,250
BLOCK D LOT 33	0.143	6,250
BLOCK D LOT 34	0.143	6,250
BLOCK D LOT 35	0.143	6,250
BLOCK D LOT 36	0.143	6,250
BLOCK D LOT 37	0.143	6,250
BLOCK D LOT 38	0.143	6,250
BLOCK D LOT 39	0.143	6,250
BLOCK E LOT 1	0.222	9,653
BLOCK E LOT 2	0.185	8,068
BLOCK E LOT 3	0.249	10,862
BLOCK E LOT 4	0.226	9,845
BLOCK E LOT 5	0.173	7,542
BLOCK E LOT 6	0.158	6,875
BLOCK E LOT 7	0.158	6,875
BLOCK E LOT 8	0.158	6,875
BLOCK E LOT 9	0.158	6,875
BLOCK E LOT 10	0.158	6,875
BLOCK E LOT 11	0.185	8,077
BLOCK E LOT 12	0.185	8,077
BLOCK E LOT 13	0.158	6,875
BLOCK E LOT 14	0.158	6,875
BLOCK E LOT 15	0.158	6,875
BLOCK E LOT 16	0.158	6,875
BLOCK E LOT 17	0.158	6,875
BLOCK E LOT 18	0.166	7,222
BLOCK E LOT 19	0.181	7,872

LOT TABLE		
LOT NO.	ACRES	SQ. FT.
BLOCK E LOT 20	0.182	7,925
BLOCK E LOT 21	0.184	8,017
BLOCK E LOT 22	0.172	7,499
BLOCK E LOT 23	0.185	8,055
BLOCK E LOT 24	0.229	9,992
BLOCK F LOT 1	0.235	10,253
BLOCK F LOT 2	0.160	6,969
BLOCK F LOT 3	0.158	6,878
BLOCK F LOT 4	0.158	6,875
BLOCK F LOT 5	0.158	6,875
BLOCK F LOT 6	0.158	6,875
BLOCK F LOT 7	0.158	6,875
BLOCK F LOT 8	0.158	6,875
BLOCK F LOT 9	0.185	8,077
BLOCK F LOT 10	0.185	8,077
BLOCK F LOT 11	0.158	6,875
BLOCK F LOT 12	0.158	6,875
BLOCK F LOT 13	0.158	6,875
BLOCK F LOT 14	0.158	6,875
BLOCK F LOT 15	0.158	6,875
BLOCK F LOT 16	0.158	6,875
BLOCK F LOT 17	0.158	6,875
BLOCK F LOT 18	0.240	10,444
BLOCK G LOT 1	0.182	7,940
BLOCK G LOT 2	0.143	6,250
BLOCK G LOT 3	0.143	6,250
BLOCK G LOT 4	0.143	6,250
BLOCK G LOT 5	0.143	6,250
BLOCK G LOT 6	0.143	6,250
BLOCK G LOT 7	0.143	6,250
BLOCK G LOT 8	0.146	6,340
BLOCK G LOT 9	0.186	8,091
BLOCK G LOT 10	0.239	10,399
BLOCK G LOT 11	0.246	10,694
BLOCK G LOT 12	0.242	10,521
BLOCK G LOT 13	0.256	11,169
BLOCK G LOT 14	0.144	6,257
BLOCK G LOT 15	0.143	6,250
BLOCK G LOT 16	0.143	6,250
BLOCK G LOT 17	0.143	6,250
BLOCK G LOT 18	0.171	7,452
BLOCK H LOT 1	0.213	9,263
BLOCK H LOT 2	0.169	7,362
BLOCK H LOT 3	0.144	6,262
BLOCK H LOT 4	0.144	6,269
BLOCK H LOT 5	0.144	6,280
BLOCK H LOT 6	0.144	6,290
BLOCK H LOT 7	0.145	6,300
BLOCK H LOT 8	0.145	6,310
BLOCK H LOT 9	0.145	6,319
BLOCK H LOT 10	0.145	6,329
BLOCK H LOT 11	0.174	7,559
BLOCK M LOT 1-NEIGHBORHOOD BUSINESS	1.394	60,713
BLOCK M LOT 2-MEDIUM DENSITY	11.845	515,982
ROW	14.925	650,116

MANOR HEIGHTS PHASE 2, SECTION 1  
78.330 ACRES  
BEING PORTIONS OF A CALLED 157.9603 ACRE TRACT  
RECORDED IN DOCUMENT NO. 2017180865, OFFICIAL  
PUBLIC RECORDS OF TRAVIS COUNTY, A CALLED 90.0886  
ACRE TRACT RECORDED IN DOCUMENT NO. 2017194263,  
OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY,  
AND A PORTION OF OLD KIMBRO ROAD  
A.C. CALDWELL SURVEY NO. 52, ABSTRACT NO. 154  
CITY OF MANOR, TR



## AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 13, 2020

PREPARED BY: Scott Dunlop, Assistant Development Director

DEPARTMENT: Development Services

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### AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Final Plat for Manor Heights Phase 2, Section 2, one hundred eight (108) lots on 27.30 acres, more or less, and being located near US Hwy 290 E and Old Kimbro Road, Manor, TX. Applicant: Kimley-Horn & Associates Owner: Forestar (USA) Real Estate Group, Inc.

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### BACKGROUND/SUMMARY:

This plat is for Phase 2 Section 2 of Manor Heights. It has not been approved by our engineer.

PRESENTATION: ☐ YES ☐ NO

ATTACHMENTS: ☐ YES (IF YES, LIST IN ORDER TO BE PRESENTED) ☐ NO

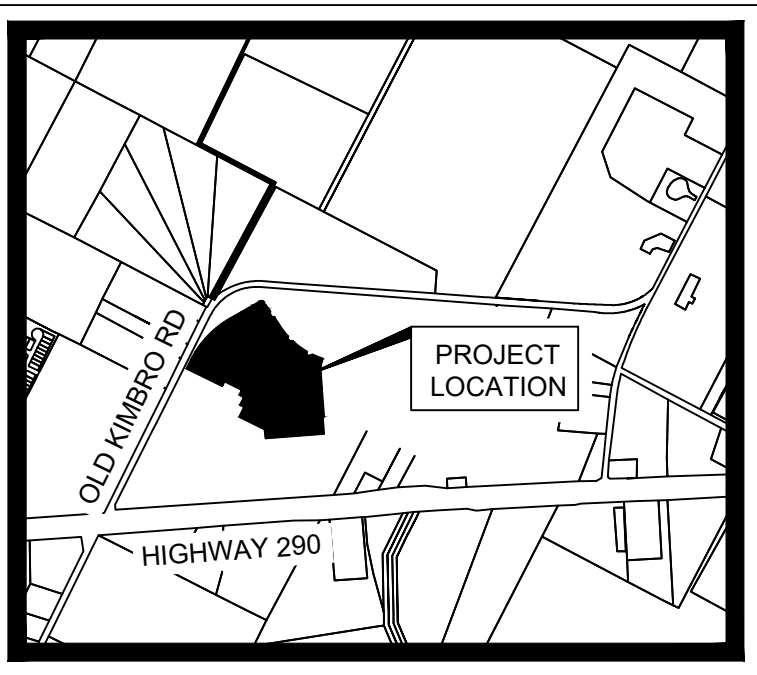
Plat

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### STAFF RECOMMENDATION:

It is City staff's recommendation that the Planning and Zoning Commission deny a Final Plat for Manor Heights Phase 2, Section 2, one hundred eight (108) lots on 27.30 acres, more or less, and being located near US Hwy 290 E and Old Kimbro Road, Manor, TX.

PLANNING & ZONING COMMISSION: ☐ RECOMMENDED APPROVAL ☐ DISAPPROVAL ☐ NONE



SCALE: 1" = 2,000'

<b><u>GENERAL INFORMATION:</u></b>	
TOTAL ACREAGE.....	27.305 ACRES
TOTAL LINEAR FEET OF 50' ROW.....	4,127'
ACREAGE OF ROW.....	4.958 ACRES
NUMBER OF SINGLE FAMILY LOTS.....	105
ACREAGE OF SINGLE FAMILY LOTS.....	20.818 ACRES
NUMBER OF NON-RESIDENTIAL LOTS.....	3
ACREAGE OF NON-RESIDENTIAL LOTS.....	1.529 ACRES
TOTAL NUMBER OF LOTS.....	108

LEGEND	
IRF	IRON ROD FOUND
IRFC	IRON ROD FOUND W/ CAP
IPF	IRON PIPE FOUND
P.O.B.	POINT OF BEGINNING
R.O.W.	RIGHT OF WAY
S.D.E.	SIGHT DISTANCE EASEMENT
OPRTC	OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY TEXAS
	SIDEWALK
(A)	BLOCK IDENTIFIERS

**SURVEYOR:**  
KIMLEY-HORN AND ASSOCIATES, INC.  
601 NW LOOP 410, SUITE 350  
SAN ANTONIO, TEXAS 78216  
PH: (210) 541-9166 FAX: (210) 541-8699  
CONTACT: ABEL STENDAHL, R.P.L.S.  
TBPLS FIRM REGISTRATION NO. 10193973

**CIVIL ENGINEER:**  
KIMLEY-HORN AND ASSOCIATES, INC.  
10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 200  
AUSTIN, TEXAS 78759  
TBPE FIRM REGISTRATION NO. F-928  
PH: (512) 418-1771 FAX: (512) 418-1791  
CONTACT: ALEX GRANADOS, P.E.

**OWNER/DEVELOPER:**  
FORESTAR (USA) REAL ESTATE GROUP INC.  
A DELAWARE CORPORATION  
2221 E. LAMAR BLVD., SUITE 790  
ARLINGTON, TEXAS 76006  
DALLAS COUNTY  
CONTACT: JOHN MABERRY

**MANOR HEIGHTS PHASE 2, SECTION 2**  
27.305 ACRES

BEING PORTIONS OF A CALLED 90.0886 ACRE TRACT  
RECORDED IN DOCUMENT NO. 2017194263, OFFICIAL  
PUBLIC RECORDS OF TRAVIS COUNTY,  
A.C. CALDWELL SURVEY NO. 52, ABSTRACT NO. 154  
CITY OF MANOR, TRAVIS COUNTY, TEXAS

# Kimley»»Horn

601 NW Loop 410, Suite 350  
San Antonio, Texas 78216

**FIRM # 10193973**

Tel. No. (210) 541-9166  
[www.kimley-horn.com](http://www.kimley-horn.com)

<u>Scale</u>	<u>Drawn by</u>	<u>Checked by</u>	<u>Date</u>	<u>Project No.</u>	<u>Sheet No.</u>
1" = 100'	APS	JGM	4/21/2020	069255703	1 OF 3



THE STATE OF TEXAS §  
§ KNOW ALL MEN BY THESE PRESENTS:  
COUNTY OF TRAVIS §

WHEREAS, RHOF, LLC, A TEXAS LIMITED LIABILITY COMPANY, THE OWNER OF 27.305 ACRE TRACT LOCATED IN THE A.C. CALDWELL SURVEY NUMBER 52, ABSTRACT NUMBER 154, CITY OF MANOR, TRAVIS COUNTY, TEXAS AND BEING A PORTION OF THAT CERTAIN 90.0886 ACRE TRACT OF LAND CONVEYED TO RHOF, LLC, AS DESCRIBED IN DOCUMENT NUMBER 2017194263, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS, AND DO HEREBY SUBDIVIDE SAID, HAVING BEEN APPROVED FOR SUBDIVISION, PURSUANT TO THE PUBLIC NOTIFICATION AND HEARING PROVISION OF CHAPTER 212 AND 232 OF THE LOCAL GOVERNMENT CODE.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT THE UNDERSIGNED OWNER OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS "MANOR HEIGHTS PHASE 2, SECTION 2" OF THE CITY OF MANOR, TRAVIS COUNTY, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY SUBDIVIDES SAID 27.305 ACRES OF LAND OF SAID IN ACCORDANCE WITH THE ATTACHED MAP OR PLAT TO BE KNOW AS "MANOR HEIGHTS PHASE 2, SECTION 2" AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS AND PUBLIC EASEMENTS THEREON SHOWN FOR THE PURPOSED AND CONSIDERATION THEREIN EXPRESSED: SUBJECT TO ANY EASEMENT OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.

WITNESS MY HAND THIS DAY \_\_\_\_\_, \_\_\_\_.

BY: \_\_\_\_\_  
FORESTAR (USA) REAL ESTATE GROUP INC.,  
A DELAWARE CORPORATION

2221 E. LAMAR BLVD., SUITE 790  
ARLINGTON, TEXAS 76006

THE STATE OF \_\_\_\_\_ §  
COUNTY OF \_\_\_\_\_ §

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ KNOWN TO ME TO BE THE PERSON OR AGENT WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY HEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_.

\_\_\_\_\_  
NOTARY PUBLIC  
NOTARY REGISTRATION NUMBER \_\_\_\_\_  
MY COMMISSION EXPIRES: \_\_\_\_\_  
COUNTY OF \_\_\_\_\_  
THE STATE OF \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF TRAVIS §

I, ALEJANDRO E. GRANADOS RICO, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF ENGINEERING, AND HEREBY CERTIFY THAT THIS PLAT IS FEASIBLE FROM AN ENGINEERING STAND POINT AND COMPLIES WITH THE ENGINEERING RELATED PORTION OF THE CITY OF MANOR, TEXAS SUBDIVISION ORDINANCE, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

THIS SITE IS LOCATED IN THE COTTONWOOD CREEK WATERSHED.

NO PORTION OF THIS SITE LIES WITHIN THE BOUNDARIES OF THE 100 YEAR FLOODPLAIN AS SHOWN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 48453C0485J, EFFECTIVE DATE AUGUST 18, 2014, TRAVIS COUNTY, TEXAS AND INCORPORATED AREAS.

\_\_\_\_\_  
ALEJANDRO E. GRANADOS RICO, P.E.  
REGISTERED PROFESSIONAL ENGINEER No. 130084  
KIMLEY-HORN AND ASSOCIATES, INC.  
10814 JOLLYVILLE ROAD  
AVALLON IV, SUITE 200  
AUSTIN, TEXAS 78759

STATE OF TEXAS §  
COUNTY OF BEXAR §

I, ABEL P. STENDAHL, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING, AND HEREBY CERTIFY THAT THIS PLAT COMPLIES WITH THE SURVEYING RELATED PORTIONS OF THE CITY OF MANOR, TEXAS SUBDIVISION ORDINANCE IS TRUE AND CORRECT, AND WAS PREPARED FROM AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION.

\_\_\_\_\_  
ABEL P. STENDAHL  
REGISTERED PROFESSIONAL LAND SURVEYOR  
NO. 6754 - STATE OF TEXAS  
601 NW LOOP 410, SUITE 350  
SAN ANTONIO, TEXAS 78216  
Ph. 210-321-3402  
abel.stendahl@kimley-horn.com

GENERAL NOTES:

1. PROPERTY OWNERS OF THE LOTS ON WHICH THE PUBLIC UTILITY EASEMENT OR THE UNDERGROUND STORM WATER DRAINAGE FACILITIES EASEMENT ARE LOCATED AS SHOWN ON THIS PLAT SHALL PROVIDE ACCESS TO THE CITY OF MANOR IN ORDER FOR THE CITY OF MANOR TO INSPECT AND MAINTAIN THE UNDERGROUND FACILITIES LOCATED WITHIN ANY OF SUCH EASEMENTS.
2. A 10' PUBLIC UTILITY EASEMENT IS HEREBY DEDICATED ALONG AND ADJACENT TO ALL STREET RIGHTS OF WAY.
3. PUBLIC SIDEWALKS BUILT TO CITY OF MANOR STANDARDS, ARE REQUIRED ALONG ALL STREETS WITHIN THIS SUBDIVISION, THESE SIDEWALKS SHALL BE IN PLACE PRIOR TO THE ADJOINING LOT BEING OCCUPIED, FAILURE TO CONSTRUCT THE REQUIRED SIDEWALKS MAY RESULT IN THE WITHHOLDING OF CERTIFICATES OF OCCUPANCY. BUILDING PERMITS, OR UTILITY CONNECTIONS BY THE COVERING BODY OR UTILITY COMPANY.
4. DRIVEWAY AND DRAINAGE CONSTRUCTION STANDARDS SHALL BE IN ACCORDANCE WITH THE REQUIREMENT OF THE CITY OF MANOR STANDARDS UNLESS OTHERWISE SPECIFIED AND APPROVE BY THE CITY OF MANOR.
5. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTION IS MADE TO THE CITY OF MANOR WATER AND WASTEWATER SYSTEM.
6. NO BUILDINGS SHALL BE CONSTRUCTED OR MAINTAINED WITHIN THE PUBLIC UTILITIES EASEMENTS OR THE UNDERGROUND STORM WATER FACILITIES EASEMENT WITHOUT THE PRIOR WRITTEN APPROVAL OF THE CITY OF MANOR. THE CITY OF MANOR IS NOT RESPONSIBLE FOR THE DAMAGE TO OR REPLACING ANY PORTIONS OF ANY FENCING, LANDSCAPING OR OTHER IMPROVEMENTS CONSTRUCTED WITHIN ANY OF SUCH EASEMENTS WHICH WERE NOT APPROVED BY THE CITY OF MANOR BEFORE THEIR CONSTRUCTION DUE TO THE NECESSARY AND CUSTOMARY WORK BY THE CITY OF MANOR IN REPAIRING, MAINTAINING, OR REPLACING THE UNDERGROUND PIPES AND RELATED FACILITIES WITHIN SUCH EASEMENTS.
7. ALL STREETS, DRAINAGE IMPROVEMENTS, SIDEWALKS, WATER AND WASTEWATER LINES, AND EROSION CONTROLS SHALL BE CONSTRUCTED AND INSTALLED TO CITY OF MANOR STANDARDS.
8. EROSION CONTROLS ARE REQUIRED FOR ALL CONSTRUCTION ON INDIVIDUAL LOTS, INCLUDING DETACHED SINGLE FAMILY IN ACCORDANCE WITH SECTION 1.4.0 OF THE CITY OF AUSTIN ENVIRONMENTAL CRITERIA MANUAL.
9. ALL STREETS IN THE SUBDIVISION SHALL BE CONSTRUCTED TO CITY OF MANOR URBAN STREET STANDARDS. ALL STREETS WILL BE CONSTRUCTED WITH CURB AND GUTTER.
10. PRIOR TO CONSTRUCTION, EXCEPT DETACHED SINGLE FAMILY ON ANY LOT IN THIS SUBDIVISION, A SITE DEVELOPMENT PERMIT MUST BE OBTAINED FROM THE CITY OF MANOR.
11. THE SUBDIVISION OWNER/DEVELOPER AS IDENTIFIED ON THIS PLAN IS RESPONSIBLE FOR POSTING FISCAL SURVEY FOR THE CONSTRUCTION OF ALL SIDEWALKS AS SHOWN OR LISTED ON THE PLAN, WHETHER INSTALLED BY THE OWNER/DEVELOPER OR INDIVIDUAL HOMEBUILDERS. IT IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER TO ENSURE ALL SIDEWALKS ARE ADA COMPLIANT UNLESS A WAIVER HAS BEEN GRANTED BY THE TEXAS DEPARTMENT OF LICENSING AND REGULATION.
12. THE BEARINGS SHOWN HEREON ARE TIED TO THE TEXAS STATE PLANE COORDINATE SYSTEM GRID, CENTRAL ZONE 4203 (NAD83), AS DETERMINED BY THE GLOBAL POSITIONING SYSTEM (GPS). ALL DISTANCES SHOWN HEREON ARE ON THE SURFACE. THE COMBINED SURFACE TO GRID SCALE FACTOR IS 0.99992097045. THE UNIT OF LINEAR MEASUREMENT IS U.S. SURVEY FEET.
13. THE MINIMUM SINGLE-FAMILY RESIDENTIAL LOT SHALL BE 6,250 SQUARE FEET WITHIN THE PUD-SF-1, AND 3,300 SQUARE FEET WITHIN THE PUD-MEDIUM DENSITY.
14. LOT FRONTAGE WIDTHS OF PUD SF-1 SHALL BE AS FOLLOWS:  
14.1. ALL LOTS EXCEPT THOSE IN CUL-DE-SACS OR ALONG CURVED ROADWAY TO HAVE A MINIMUM FRONTAGE OF NO LESS THAN 50 FEET.  
14.2. LOTS ALONG CUL-DE-SACS AND CURVED ROADWAY TO HAVE A MINIMUM FRONTAGE OF NO LESS THAN 30 FEET AT THE RIGHT OF WAY, AND 50 FEET WIDE FRONTAGE MEASURED AT THE PROPERTY SETBACK LINE.
15. SINGLE-FAMILY RESIDENTIAL LOTS HAVE A MINIMUM SIDE SET BACK OF FIVE (5) FEET FOR EACH LOT.
16. SINGLE-FAMILY RESIDENTIAL LOTS HAVE A MINIMUM REAR SET BACK OF TEN (10) FEET FOR EACH LOT.
17. THE MINIMUM FRONT FACADE MASONRY IS 30%, MASONRY MUST BE STONE, BRICK, OR STUCCO.
18. HOUSE PLANS SUBMITTED TO THE CITY SHALL BE STAMPED OR INDICATED BY LETTER OF TRANSMITTAL (OR SIMILAR LANGUAGE) THAT THE ARCHITECTURAL REVIEW COMMITTEE (ARC) HAS REVIEWED AND APPROVED THE HOUSE PLANS AS COMPLYING WITH THE PUD ARCHITECTURAL DESIGN REQUIREMENTS FOR CITY REVIEW.
19. LOTS UNDER THE PUD MEDIUM DENSITY CATEGORY SHALL BE ALLEY LOADED WHEN THE PROPOSED FRONT YARD SETBACK IS 10 FEET.
20. THE HOME OWNERS ASSOCIATION, AND/OR ITS SUCCESSORS AND ASSIGNS (THE "HOA") SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL NON-RESIDENTIAL LOTS THAT ARE DEDICATED TO THE HOA.
21. LOT 1, BLOCK A, LANDSCAPE LOT, LOT 13, BLOCK A, LANDSCAPE LOT, LOT 1, BLOCK B, LANDSCAPE LOT, LOT 6, BLOCK D, DRAINAGE LOT, LOT 19, BLOCK D, DRAINAGE LOT, LOT 26, BLOCK D, DRAINAGE LOT, AND LOT 30, BLOCK D, OPEN SPACE LOT ARE DEDICATED TO THE CITY OF MANOR, TEXAS. THE HOMEOWNER ASSOCIATION, AND/OR ITS SUCCESSORS AND ASSIGNS (THE "HOA") SHALL BE RESPONSIBLE FOR MAINTENANCE OF LOT 88, BLOCK A, OPEN SPACE DRAINAGE LOT, LOT 92, BLOCK A, OPEN SPACE, LOT 26, BLOCK B, OPEN SPACE DRAINAGE LOT, AND LOT 11, BLOCK C, OPEN SPACE IN ACCORDANCE WITH THAT CERTAIN DEVELOPMENT AGREEMENT (MANOR HEIGHTS) DATED EFFECTIVE NOVEMBER 7, 2018 (THE "DEVELOPMENT AGREEMENT") AND SHALL ENTER INTO A LICENSE AGREEMENT WITH THE CITY IN SUBSTANTIALLY THE FORM PROVIDED IN THE DEVELOPMENT AGREEMENT. THE CITY SHALL BE RESPONSIBLE FOR MAINTENANCE OF LOT 1, BLOCK A, LANDSCAPE LOT, LOT 13, BLOCK A, LANDSCAPE LOT, LOT 1, BLOCK B, LANDSCAPE LOT, LOT 6, BLOCK D, OPEN SPACE AND DRAINAGE LOT, LOT 19, BLOCK D, OPEN SPACE AND DRAINAGE LOT, LOT 26, BLOCK D, OPEN SPACE AND DRAINAGE LOT, AND LOT 30, BLOCK D, OPEN SPACE LOT UPON THE TERMINATION OF THE LICENSE AGREEMENT OR THE TERMINATION OF THE MAINTENANCE PERIOD PROVIDED IN THE DEVELOPMENT AGREEMENT, WHICHEVER IS LONGER.
22. ACCESS TO NON-RESIDENTIAL LOTS SHALL BE PROVIDED TO THE CITY WHERE MAINTENANCE IS REQUIRED TO BE PERFORMED BY THE CITY IN ACCORDANCE WITH THAT CERTAIN DEVELOPMENT AGREEMENT (MANOR HEIGHTS) DATED EFFECTIVE NOVEMBER 7, 2018.
23. THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF MANOR, FULL PURPOSE ANNEXATION, AND IS DESIGNATED AS A PLANNED UNIT DEVELOPMENT (PUD) SIGNED BY THE MANOR CITY COUNCIL ON NOVEMBER 14TH, 2018.

CITY OF MANOR ACKNOWLEDGMENTS

THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF MANOR CORPORATE CITY LIMITS AS OF THIS DATE. \_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_.

ACCEPTED AND AUTHORIZED FOR RECORD BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MANOR, TEXAS, ON THIS THE DATE. \_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_.

APPROVED: ATTEST:

\_\_\_\_\_  
PHILIP TRYON, CHAIRPERSON LLUVIA ALMARAZ, CITY SECRETARY

ACCEPTED AND AUTHORIZED FOR RECORD BY THE CITY COUNCIL OF THE CITY OF MANOR, TEXAS, ON THIS THE DATE. \_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_.

APPROVED: ATTEST:

\_\_\_\_\_  
DR. LARRY WALLACE, JR., MAYOR LLUVIA ALMARAZ, CITY SECRETARY

COUNTY OF TRAVIS:  
STATE OF TEXAS:  
KNOW ALL ME BY THESE PRESENTS:

I, DANA DEBEAUVOIR, CLERK OF TRAVIS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE DATE. \_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_ AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_, DULY RECORDED ON THE DAY OF \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_  
IN THE PLAT RECORDS OF SAID COUNTY AND STATE IN DOCUMENT NUMBER \_\_\_\_\_, OFFICIAL RECORDS OF TRAVIS COUNTY, TEXAS.

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY CLERK, THIS \_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_.

DANA DEBEAUVOIR, COUNTY CLERK, TRAVIS  
COUNTY, TEXAS

BY: \_\_\_\_\_  
DEPUTY

SURVEYOR:  
KIMLEY-HORN AND ASSOCIATES, INC.  
601 NW LOOP 410, SUITE 350  
SAN ANTONIO, TEXAS 78216  
PH: (210) 541-9166 FAX: (210) 541-8699  
CONTACT: ABEL STENDAHL, R.P.L.S.  
TBPLS FIRM REGISTRATION NO. 10193973

CIVIL ENGINEER:  
KIMLEY-HORN AND ASSOCIATES, INC.  
10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 200  
AUSTIN, TEXAS 78759  
TBPE FIRM REGISTRATION NO. F-928  
PH: (512) 418-1771 FAX: (512) 418-1791  
CONTACT: ALEX GRANADOS, P.E.

OWNER/DEVELOPER:  
FORESTAR (USA) REAL ESTATE GROUP INC.,  
A DELAWARE CORPORATION  
2221 E. LAMAR BLVD., SUITE 790  
ARLINGTON, TEXAS 76006  
DALLAS COUNTY  
CONTACT: JOHN MABERRY

## MANOR HEIGHTS PHASE 2, SECTION 2 27.305 ACRES

BEING PORTIONS OF A CALLED 90.0886 ACRE TRACT  
RECORDED IN DOCUMENT NO. 2017194263, OFFICIAL  
PUBLIC RECORDS OF TRAVIS COUNTY,  
A.C. CALDWELL SURVEY NO. 52, ABSTRACT NO. 154  
CITY OF MANOR, TRAVIS COUNTY, TEXAS

# Kimley»Horn

601 NW Loop 410, Suite 350  
San Antonio, Texas 78216

FIRM # 10193973

Tel. No. (210) 541-9166  
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	APS	JGM	4/21/2020	069255703	2 OF 3



A METES AND BOUNDS  
DESCRIPTION OF A  
27.305 ACRE TRACT OF LAND

BEING a 27.305 acre (1,189,380 square feet) tract of land situated in the A.C. Caldwell Survey No. 52, Abstract No. 154, City of Manor, Travis County, Texas; being a portion of a called 90.0886 acre tract of land described in instrument to RHOF, LLC recorded in Document No. 2017194263 of the Official Public Records of Travis County; and being more particularly described as follows:

COMMENCING at a 1/2-inch iron rod with a plastic cap stamped "KHA" found marking the southwesterly end of a curve on the southeasterly right-of-way line of Old Kimbro Road (80 feet wide) on the northwesterly line of said 90.0886 acre tract;

THENCE, South 26°31'49" West, along the southeasterly right-of-way line of said Old Kimbro Road, at a distance of 87.04 feet pass a concrete monument found on line, continuing for a total distance of 589.77 feet to the western-most southwest corner of said 90.0886 acre tract;

THENCE, South 63°36'50" East, 17.50 feet, departing the southeasterly right-of-way line of said Old Kimbro Road and along the southwesterly line of said 90.0886 acre tract to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for the POINT OF BEGINNING of the herein described tract;

THENCE, departing the southwesterly line of and crossing said 90.0886 acre tract, the following thirty-seven (37) courses and distances:

1. North 26°31'49" East, 93.07 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
2. in a northeasterly direction, along a tangent curve to the right, a central angle of 33°44'24", a radius of 1042.98 feet, a chord bearing and distance of North 43°24'00" East, 605.35 feet, and a total arc length of 614.18 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of tangency;
3. North 60°16'10" East, 359.33 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
4. in a southeasterly direction, along a tangent curve to the right, a central angle of 87°00'00", a radius of 25.00 feet, a chord bearing and distance of South 76°13'50" East, 34.42 feet, and a total arc length of 37.96 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of tangency;
5. South 32°43'50" East, 35.18 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
6. in a southeasterly direction, along a tangent curve to the left, a central angle of 4°30'37", a radius of 314.50 feet, a chord bearing and distance of South 34°59'08" East, 24.75 feet, and a total arc length of 24.76 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of tangency;
7. South 37°14'27" East, 27.24 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
8. in a southeasterly direction, along a tangent curve to the right, a central angle of 4°30'37", a radius of 285.50 feet, a chord bearing and distance of South 34°59'08" East, 22.47 feet, and a total arc length of 22.47 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of tangency;
9. South 32°43'50" East, 8.19 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
10. in a southwesterly direction, along a tangent curve to the right, a central angle of 90°00'00", a radius of 15.00 feet, a chord bearing and distance of South 12°16'10" West, 21.21 feet, and a total arc length of 23.56 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
11. South 33°52'34" East, 50.01 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
12. North 57°16'10" East, 4.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
13. in a southeasterly direction, along a tangent curve to the right, a central angle of 90°00'00", a radius of 15.00 feet, a chord bearing and distance of South 77°43'50" East, 21.21 feet, and a total arc length of 23.56 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of tangency;
14. South 32°43'50" East, 103.99 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
15. in a southeasterly direction, along a tangent curve to the left, a central angle of 9°04'25", a radius of 825.00 feet, a chord bearing and distance of South 37°16'02" East, 130.51 feet, and a total arc length of 130.65 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of reverse curvature;
16. in a southwesterly direction, along a tangent reverse curve to the right, a central angle of 87°16'14", a radius of 15.00 feet, a chord bearing and distance of South 1°49'53" West, 20.70 feet, and a total arc length of 22.85 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of tangency;
17. South 45°28'00" West, 4.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
18. South 44°32'00" East, 50.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
19. North 45°28'00" East, 4.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
20. in a northeasterly direction, along a tangent curve to the right, a central angle of 87°16'14", a radius of 15.00 feet, a chord bearing and distance of North 89°06'07" East, 20.70 feet, and a total arc length of 22.85 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of reverse curvature;
21. in a southeasterly direction, along a tangent reverse curve to the left, a central angle of 11°42'16", a radius of 825.00 feet, a chord bearing and distance of South 53°06'54" East, 168.24 feet, and a total arc length of 168.53 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
22. South 59°06'20" East, 3.98 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
23. in a southeasterly direction, along a tangent curve to the right, a central angle of 78°36'23", a radius of 15.00 feet, a chord bearing and distance of South 19°56'26" East, 19.00 feet, and a total arc length of 20.58 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of tangency;
24. South 19°08'40" West, 4.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
25. in a southwesterly direction, along a tangent curve to the left, a central angle of 1°50'28", a radius of 525.00 feet, a chord bearing and distance of South 18°00'20" West, 16.87 feet, and a total arc length of 16.87 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
26. South 72°54'57" East, 50.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
27. North 17°27'55" East, 6.32 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
28. in a northeasterly direction, along a tangent curve to the right, a central angle of 97°22'38", a radius of 15.00 feet, a chord bearing and distance of North 66°32'07" East, 22.53 feet, and a total arc length of 25.49 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of reverse curvature;
29. in a southeasterly direction, along a tangent reverse curve to the left, a central angle of 7°45'03", a radius of 825.00 feet, a chord bearing and distance of South 68°39'06" East, 111.52 feet, and a total arc length of 111.60 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
30. South 17°28'23" West, 58.50 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
31. South 5°42'09" West, 47.12 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
32. South 1°52'06" East, 47.91 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
33. South 4°00'13" East, 150.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
34. South 4°02'11" East, 310.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
35. South 85°44'38" West, 13.10 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
36. South 4°15'22" East, 175.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
37. South 85°44'38" West, 611.69 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set on the southwesterly line of said 90.0886 acre tract;

THENCE, along the southwesterly lines of said 90.0886 acre tract, the following ten (10) courses and distances:

1. North 4°15'58" West, 92.84 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
2. North 63°41'58" West, 296.22 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
3. North 26°19'23" East, 112.46 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
4. North 63°36'46" West, 46.90 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
5. North 26°39'00" East, 91.45 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
6. North 60°21'11" West, 53.72 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
7. North 26°43'42" East, 55.53 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
8. North 63°34'50" West, 200.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
9. South 26°50'59" West, 55.85 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
10. North 63°36'50" West, 415.09 feet to the POINT OF BEGINNING, and containing 27.305 acres of land in Travis County, Texas.

The basis of bearing for this description is the Texas State Plane Coordinate System Grid, Central Zone (FIPS 4203) (NAD'83). All distances are on the surface and shown in U.S. Survey Feet. To convert grid distances to grid, apply the combined SURFACE to GRID scale factor of 0.99992097045. This document was prepared in the office of Kimley-Horn and Associates, Inc. in San Antonio, Texas.

LOT TABLE			LOT TABLE			LOT TABLE		
LOT NO.	ACRES	SQ. FT.	LOT NO.	ACRES	SQ. FT.	LOT NO.	ACRES	SQ. FT.
BLOCK D LOT 40	0.143	6,250	BLOCK J LOT 23	0.266	11,583	BLOCK K LOT 44	0.301	13,115
BLOCK D LOT 41	0.171	7,452	BLOCK J LOT 24	0.203	8,838	BLOCK K LOT 45	0.383	16,704
BLOCK H LOT 12	0.169	7,345	BLOCK J LOT 25	0.157	6,836	BLOCK K LOT 46	0.191	8,340
BLOCK H LOT 13	0.142	6,171	BLOCK J LOT 26	0.157	6,836	BLOCK K LOT 47	0.159	6,930
BLOCK H LOT 14	0.142	6,181	BLOCK J LOT 27	0.157	6,836	BLOCK K LOT 48	0.147	6,403
BLOCK H LOT 15	0.142	6,190	BLOCK J LOT 28	0.157	6,836	BLOCK K LOT 49	0.144	6,253
BLOCK H LOT 16	0.142	6,200	BLOCK J LOT 29	0.173	7,538	BLOCK K LOT 50	0.143	6,250
BLOCK H LOT 17	0.143	6,210	BLOCK J LOT 30	0.192	8,346	BLOCK K LOT 51	0.177	7,728
BLOCK H LOT 18	0.143	6,220	BLOCK J LOT 31	0.182	7,918	BLOCK L LOT 1-LANDSCAPE	0.097	4,213
BLOCK H LOT 19	0.143	6,231	BLOCK J LOT 32	0.191	8,330	BLOCK L LOT 2	0.188	8,179
BLOCK H LOT 20	0.143	6,242	BLOCK J LOT 33	0.189	8,240	BLOCK L LOT 3	0.226	9,845
BLOCK H LOT 21	0.156	6,795	BLOCK J LOT 34	0.172	7,483	BLOCK L LOT 4	0.252	10,975
BLOCK H LOT 22	0.160	6,969	BLOCK J LOT 35	0.193	8,389	BLOCK L LOT 5	0.322	14,009
BLOCK H LOT 23	0.206	8,960	BLOCK J LOT 36	0.278	12,130	BLOCK L LOT 6	0.209	9,106
BLOCK I LOT 1-PARKLAND	1.332	58,022	BLOCK J LOT 37	0.332	14,470	BLOCK L LOT 7	0.179	7,788
BLOCK J LOT 1	0.197	8,579	BLOCK J LOT 38	0.244	10,620	BLOCK L LOT 8	0.187	8,135
BLOCK J LOT 2	0.189	8,247	BLOCK J LOT 39	0.195	8,494	BLOCK L LOT 9	0.277	12,050
BLOCK J LOT 3	0.192	8,374	BLOCK J LOT 40	0.198	8,614	BLOCK L LOT 10	0.237	10,343
BLOCK J LOT 4	0.165	7,208	BLOCK J LOT 41	0.196	8,526	BLOCK L LOT 11	0.496	21,608
BLOCK J LOT 5	0.159	6,909	BLOCK J LOT 42	0.194	8,457	BLOCK L LOT 12	0.336	14,649
BLOCK J LOT 6	0.159	6,909	BLOCK K LOT 27	0.261	11,364	BLOCK L LOT 13	0.172	7,498
BLOCK J LOT 7	0.159	6,909	BLOCK K LOT 28	0.194	8,458	BLOCK L LOT 14	0.172	7,489
BLOCK J LOT 8	0.159	6,909	BLOCK K LOT 29	0.202	8,803	BLOCK L LOT 15	0.206	8,986
BLOCK J LOT 9	0.269	11,718	BLOCK K LOT 30	0.216	9,400	BLOCK L LOT 16	0.171	7,455
BLOCK J LOT 10	0.171	7,452	BLOCK K LOT 31	0.143	6,250	BLOCK L LOT 17	0.146	6,369
BLOCK J LOT 11	0.143	6,250	BLOCK K LOT 32	0.143	6,250	BLOCK L LOT 18	0.153	6,679
BLOCK J LOT 12	0.143	6,250	BLOCK K LOT 33	0.143	6,250	BLOCK L LOT 19	0.161	7,030
BLOCK J LOT 13	0.145	6,317	BLOCK K LOT 34	0.143	6,250	BLOCK L LOT 20	0.163	7,080
BLOCK J LOT 14	0.179	7,810	BLOCK K LOT 35	0.223	9,714	BLOCK L LOT 21	0.244	10,631
BLOCK J LOT 15	0.143	6,250	BLOCK K LOT 36	0.278	12,125	BLOCK L LOT 22	0.267	11,647
BLOCK J LOT 16	0.143	6,250	BLOCK K LOT 37	0.237	10,318	BLOCK L LOT 23	0.174	7,599
BLOCK J LOT 17	0.143	6,250	BLOCK K LOT 38	0.159	6,939	BLOCK L LOT 24	0.158	6,874
BLOCK J LOT 18	0.174	7,578	BLOCK K LOT 39	0.261	11,360	BLOCK L LOT 25	0.163	7,113
BLOCK J LOT 19	0.220	9,592	BLOCK K LOT 40	0.470	20,477	BLOCK L LOT 26	0.171	7,443
BLOCK J LOT 20	0.238	10,381	BLOCK K LOT 41-DRAINAGE	0.100	4,335	ROW	4.958	215,956
BLOCK J LOT 21	0.199	8,678	BLOCK K LOT 42	0.283	12,327			
BLOCK J LOT 22	0.181	7,869	BLOCK K LOT 43	0.341	14,852			

SURVEYOR:  
KIMLEY-HORN AND ASSOCIATES, INC.  
601 NW LOOP 410, SUITE 350  
SAN ANTONIO, TEXAS 78216  
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MANOR HEIGHTS PHASE 2, SECTION 2  
27.305 ACRES

BEING PORTIONS OF A CALLED 90.0886 ACRE TRACT  
RECORDED IN DOCUMENT NO. 2017194263, OFFICIAL  
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A.C. CALDWELL SURVEY NO. 52, ABSTRACT NO. 154  
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Kimley»Horn

601 NW Loop 410, Suite 350 San Antonio, Texas 78216			FIRM # 10193973			Tel. No. (210) 541-9166 www.kimley-horn.com		
Scale	Drawn by	Checked by	Date	Project No.	Sheet No.			
N/A	APS	JGM	4/21/2020	069255703	3 OF 3			



## AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 13, 2020

PREPARED BY: Scott Dunlop, Assistant Development Director

DEPARTMENT: Development Services

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### AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Final Plat for Presidential Heights Phase 5, one hundred twenty two (122) lots on 34.35 acres, more or less, and being located near Samuel Welch Way and George Mason Avenue, Manor, TX. Applicant: Kimley-Horn & Associates Owner: West Elgin Development Corp.

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### BACKGROUND/SUMMARY:

This plat is for Phase 5 of 6 of Presidential Heights. This phase is currently under construction and this plat has been approved by our engineer.

PRESENTATION: ☐ YES ☐ NO

ATTACHMENTS: ☐ YES (IF YES, LIST IN ORDER TO BE PRESENTED) ☐ NO

Plat

Engineer Comments

Conformance Letter

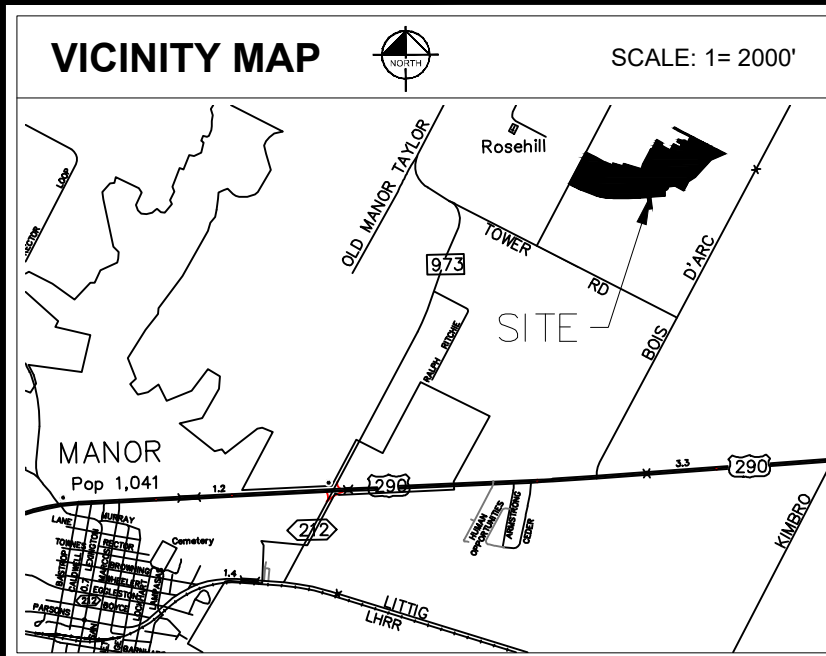
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### STAFF RECOMMENDATION:

It is City staff's recommendation that the Planning and Zoning Commission approve a Final Plat for Presidential Heights Phase 5, one hundred twenty two (122) lots on 34.35 acres, more or less, and being located near Samuel Welch Way and George Mason Avenue, Manor, TX.

PLANNING & ZONING COMMISSION: ☐ RECOMMENDED APPROVAL ☐ DISAPPROVAL ☐ NONE





SUBDIVISION PLAT ESTABLISHING

# PRESIDENTIAL HEIGHTS PHASE 5

BEING 34.347 ACRES OF LAND, IN THE GREENBURY GATES SURVEY NUMBER 63, ABSTRACT NUMBER 315 CITY OF MANOR IN TRAVIS COUNTY, TEXAS, AND BEING A PORTION OF THAT CERTAIN 169.360 ACRE TRACT, CONVEYED TO WEST ELGIN DEVELOPMENT CORPORATION, IN DOCUMENT NUMBER 2016071831 OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

OCTOBER 14, 2019

LEGEND	
5/8" IRF	5/8" IRON ROD FOUND
IRSC	1/2" IRON ROD W/ "KHA" CAP SET
IRFC	1/2" IRON ROD FOUND W/ CAP
60d	60d NAIL FOUND
O.P.R.T.C.T.	OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY TEXAS
T.C.P.R.	TRAVIS COUNTY PLAT RECORDS
P.O.B.	POINT OF BEGINNING
T.B.M.	BENCH MARK
P.U.E.	PUBLIC UTILITY EASEMENT
BL	BUILDING SET BACK LINE
W.L.E.	WATER LINE EASEMENT
W.W.E.	WASTEWATER EASEMENT
.....	SIDEWALK
A, B, C, D	BUILDING SETBACK BY LOT TYPE (SEE DETAIL)
P.O.C.	POINT OF CURVE
P.R.C.	POINT OF REVERSE CURVE
P.C.C.	POINT OF COMPOUND CURVE
P.O.T.	POINT OF TANGENT
---	PHASE AND MATCH LINE

REMAINDER  
WEST ELGIN  
DEVELOPMENT  
CORPORATION  
(169.360 ACRES)  
DOC. NO. 2016071831  
O.P.R.T.C.T.

REMAINDER  
WEST ELGIN  
DEVELOPMENT  
CORPORATION  
(169.360 ACRES)  
DOC. NO. 2016071831  
O.P.R.T.C.T.

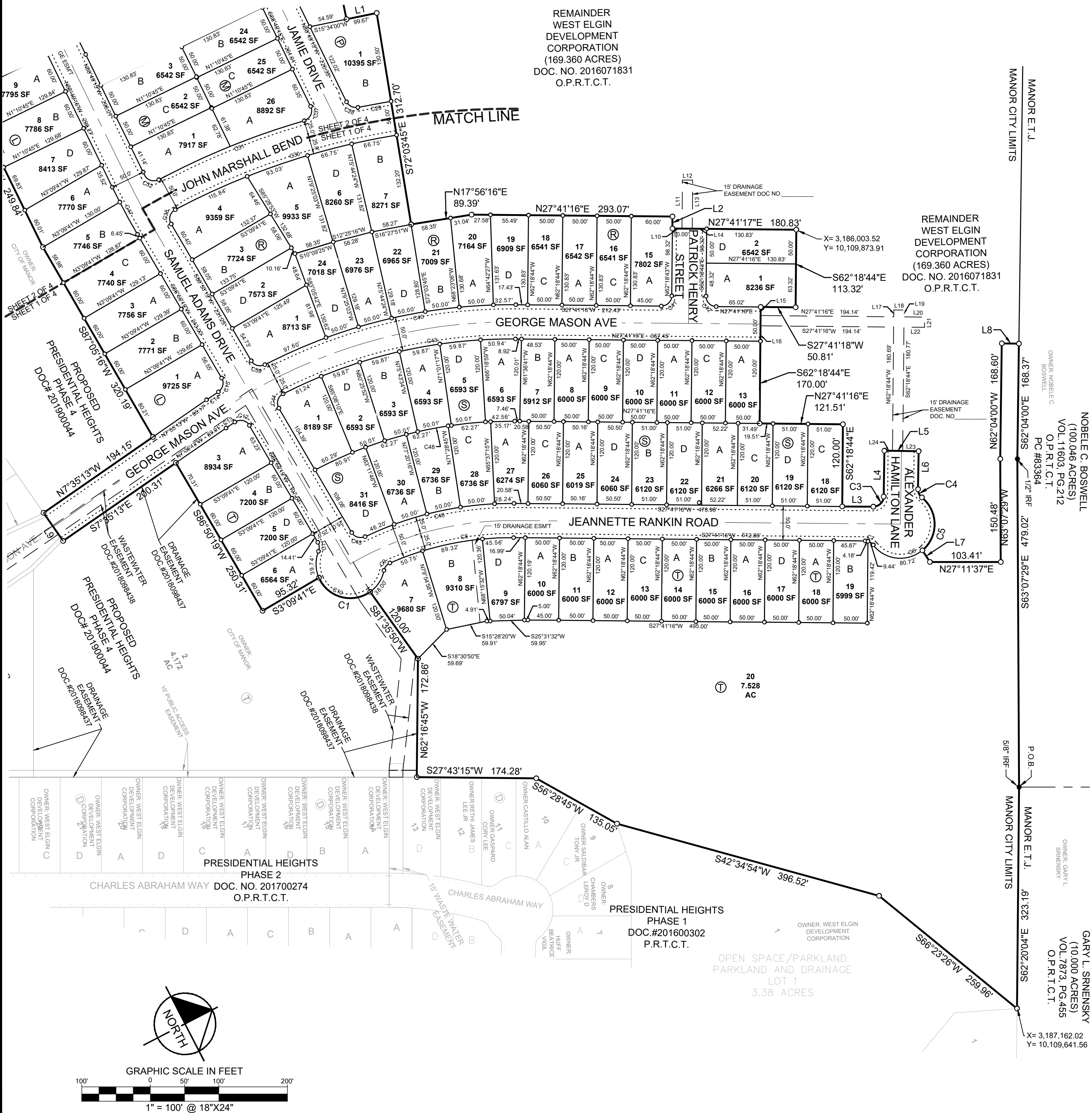
NOBLE C. BOSWELL  
(100.046 ACRES)  
VOL. 11603, PG. 212  
O.P.R.T.C.T.  
PC #83364

GARY L. SRNENSKY  
(10.000 ACRES)  
VOL. 7873, PG. 455  
O.P.R.T.C.T.

12/30/2019 6:50 AM

VILLARREAL, MIGUEL 12/30/2019 6:59 AM

W. PLATTED BY



## Kimley»Horn

SURVEYOR:  
KIMLEY-HORN AND ASSOCIATES, INC.  
601 NW LOOP 410, SUITE 350  
SAN ANTONIO, TEXAS 78216  
PH: (210) 541-9166 FAX: (210) 541-8699  
CONTACT: JOHN G. MOSIER, R.P.L.S.  
TBPLS FIRM REGISTRATION NO. 10193973

CIVIL ENGINEER:  
KIMLEY-HORN AND ASSOCIATES, INC.  
10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 300  
AUSTIN, TEXAS 78759  
TBPE FIRM REGISTRATION NO. F-928  
PH: (512) 418-1771 FAX: (512) 418-1791  
CONTACT: JOSHUA W. MIKSCH, P.E.

OWNER/DEVELOPER:  
WEST ELGIN DEVELOPMENT CORPORATION,  
A TEXAS CORPORATION  
9900 U.S. HIGHWAY 290 E,  
MANOR TEXAS, 78653-9720  
PH: (512) 327-7415  
CONTACT: DANNY BURNETT



SUBDIVISION PLAT ESTABLISHING

# PRESIDENTIAL HEIGHTS PHASE 5

BEING 34.347 ACRES OF LAND, IN THE GREENBURY GATES SURVEY NUMBER 63, ABSTRACT NUMBER 315 CITY OF MANOR IN TRAVIS COUNTY, TEXAS, AND BEING A PORTION OF THAT CERTAIN 169.360 ACRE TRACT, CONVEYED TO WEST ELGIN DEVELOPMENT CORPORATION, IN DOCUMENT NUMBER 2016071831 OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

OCTOBER 14, 2019

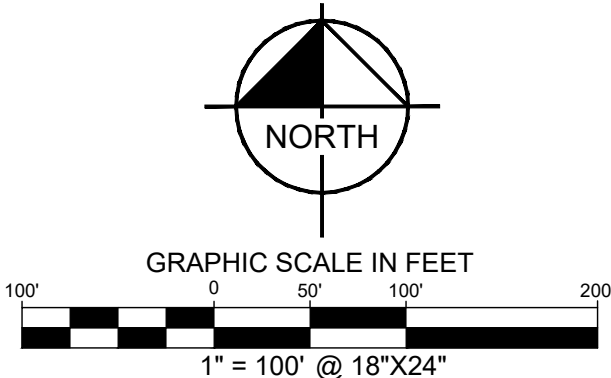
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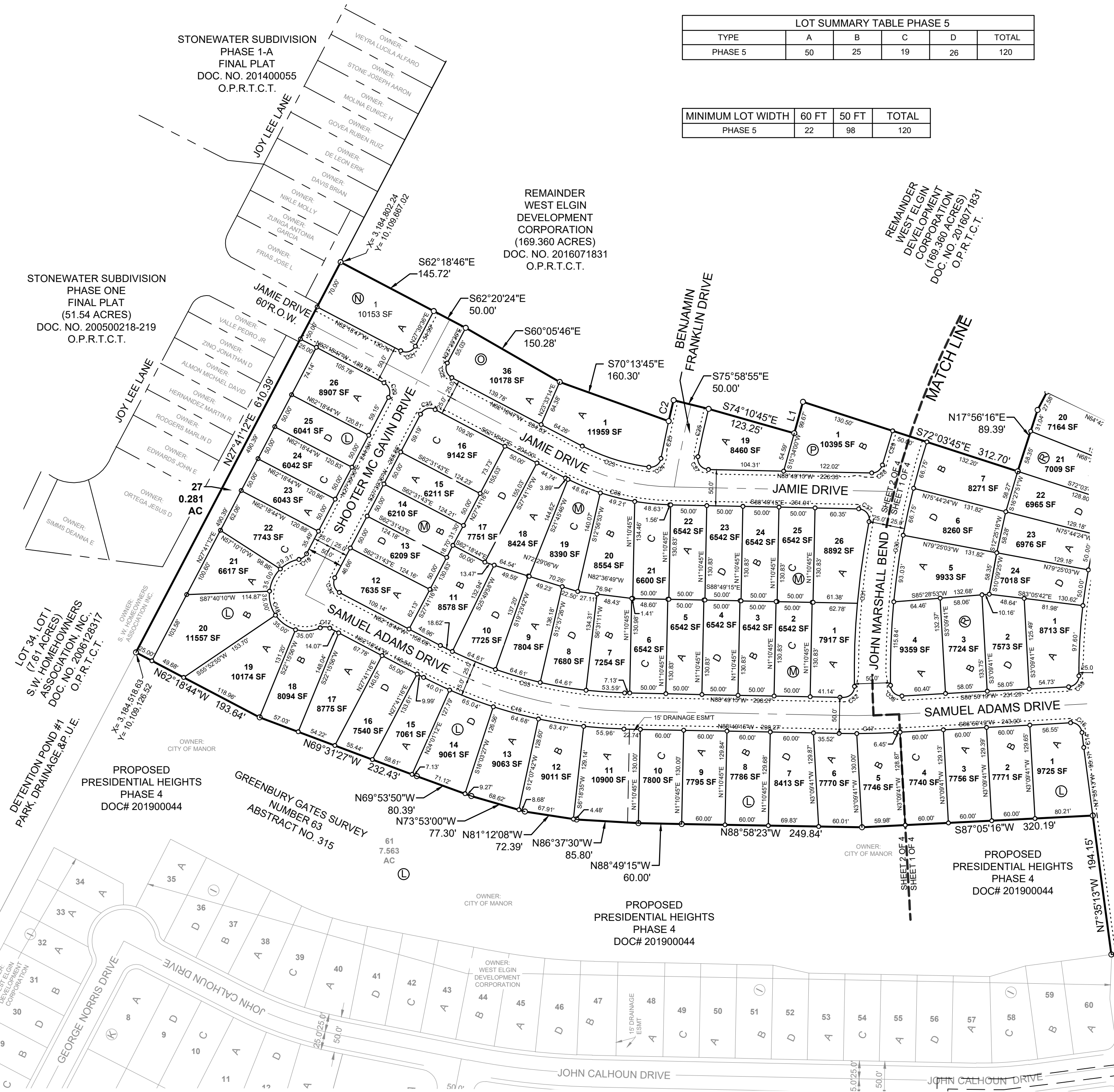
BLOCK	LOT	CLASSIFICATION	OWNERSHIP DESIGNATION
T	20	OPEN SPACE PARK FACILITIES, DETENTION POND AND SURFACE DRAINAGE IMPROVEMENTS	CITY OF MANOR
L	27	OPEN SPACE PARK FACILITIES AND SURFACE DRAINAGE IMPROVEMENTS	HOA



LEGEND	
5/8" IRF	5/8" IRON ROD FOUND
IRSC	1/2" IRON ROD W/ "KHA" CAP SET
IRFC	1/2" IRON ROD FOUND W/ CAP
804	804 NAIL FOUND
O.P.R.T.C.T.	OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY TEXAS
T.C.P.R.	TRAVIS COUNTY PLAT RECORDS
P.O.B.	POINT OF BEGINNING
T.B.M.	BENCH MARK
P.U.E.	PUBLIC UTILITY EASEMENT
BL	BUILDING SET BACK LINE
W.L.E.	WATER LINE EASEMENT
W.W.E.	WASTEWATER EASEMENT
---	SIDEWALK
A, B, C, D	BUILDING SETBACK BY LOT TYPE (SEE DETAIL)
P.O.C.	POINT OF CURVE
P.R.C.	POINT OF REVERSE CURVE
P.C.C.	POINT OF COMPOUND CURVE
P.O.T.	POINT OF TANGENT
---	PHASE AND MATCH LINE

LOT SUMMARY TABLE PHASE 5					
TYPE	A	B	C	D	TOTAL
PHASE 5	50	25	19	26	120

MINIMUM LOT WIDTH	60 FT	50 FT	TOTAL
PHASE 5	22	98	120





LEGAL DESCRIPTION:

A Metes and Bounds description of a 34.347 acre tract of land in the Greenbury Gates Survey Number 63, Abstract Number 315, Travis County, Texas, and being a portion of that certain called 169.360 acre tract, conveyed to West Elgin Development Corporation., as recorded under Document Number 2016071831, Official Public Records of Travis County Texas; said 34.347 acre tract being more particularly described as follows:

BEGINNING, at a 5/8 inch iron rod found located in the northeasterly line of the said certain 169.360 acre tract of land; same being the westerly corner of that certain called 10.000 acre tract of land conveyed to Gary L. Srnensky, as described in Volume 7873, Page 455, Official Public Records of Travis County, and the southerly corner of that certain called 100.046 acre tract of land conveyed to Nobele C. Boswell, as described in Volume 11603, Page 212 Official Public Records of Travis County;

THENCE, South 62°20'04" East, 323.19 feet along the northeasterly line of said 169.360 acre tract to a ½ inch iron rod with “KHA” cap set for the most northerly corner of Presidential Heights Phase 1, as described in Document Number 201600302 Official Public Records of Travis County, and the easterly corner of herein described tract;

THENCE, along the northwesterly line of said Presidential Heights Phase 1, the follow four (4) courses and distances:

- 1. South 66°23'26" West, 259.96 feet to a ½ inch iron rod with “KHA” cap set;
- 2. South 42°34'54" West, 396.52 feet to a ½ inch iron rod with “KHA” cap set;
- 3. South 56°28'45" West, 135.05 feet to a ½ inch iron rod with “KHA” cap set;
- 4. South 27°43'15" West, 174.28 feet to a ½ inch iron rod with “KHA” cap set;

THENCE, over and across the said 169.360 acre tract, along the northerly line of proposed Presidential Heights Phase 4, not yet of record, the following seventeen (17) course and distances:

- 1. North 62°16'45" West, 172.86 feet to a ½ inch iron rod with “KHA” cap set;
- 2. South 81°35'50" West, 120.00 feet to a point of for corner;
- 3. in a southwesterly direction, along a non-tangent curve to the right, a central angle of 101°43'23", a radius of 50.00 feet, a chord bearing and distance of South 42°27'31" West, 77.56 feet, and a total arc length of 88.77 feet to a ½ inch iron rod with “KHA” cap set;
- 4. South 3°09'41" East, 95.32 feet to a ½ inch iron rod with “KHA” cap set;
- 5. South 86°50'19" West, 250.31 feet to a ½ inch iron rod with “KHA” cap set;
- 6. South 7°35'13" East, 200.31 feet to a ½ inch iron rod with “KHA” cap set;
- 7. South 82°24'47" West, 50.00 feet to a ½ inch iron rod with “KHA” cap set;
- 8. North 7°35'13" West, 194.15 feet to a ½ inch iron rod with “KHA” cap set;
- 9. South 87°05'16" West, 320.19 feet to a ½ inch iron rod with “KHA” cap set;
- 10. North 88°58'23" West, 249.84 feet to a ½ inch iron rod with “KHA” cap set;
- 11. North 88°49'15" West, 60.00 feet to a ½ inch iron rod with “KHA” cap set;
- 12. North 86°37'30" West, 85.80 feet to a ½ inch iron rod with “KHA” cap set;
- 13. North 81°12'08" West, 72.38 feet to a ½ inch iron rod with “KHA” cap set;
- 14. North 73°53'00" West, 77.30 feet to a ½ inch iron rod with “KHA” cap set;
- 15. North 69°53'50" West, 80.39 feet to a ½ inch iron rod with “KHA” cap set;
- 16. North 69°31'27" West, 232.43 feet to a ½ inch iron rod with “KHA” cap set;
- 17. North 62°18'44" West, 193.64 feet to a ½ inch iron rod with “KHA” cap set on the southeasterly line of Stone Water Subdivision Phase One, as described in Document Number 200500218-219 Official Public Records of Travis County, for the southwesterly corner of herein described tract;

THENCE, North 27°41'12" East, 610.39 feet along the southeasterly line of said Stone Water Subdivision Phase One to a ½ inch iron rod with “KHA” cap set for the northwesterly corner of herein described tract;

THENCE, over and across the said 169.360 acre tract, the following thirty (30) course and distances:

- 1. South 62°18'46" East, 145.72 feet to a ½ inch iron rod with “KHA” cap set;
- 2. South 62°20'24" East, 50.00 feet to a ½ inch iron rod with “KHA” cap set;
- 3. South 60°05'46" East, 150.28 feet to a ½ inch iron rod with “KHA” cap set;
- 4. South 70°13'45" East, 160.30 feet to a point of for corner;
- 5. in a northeasterly direction, along a non-tangent curve to the right, a central angle of 1°13'06", a radius of 1402.00 feet, a chord bearing and distance of North 13°24'31" East, 29.81 feet, and a total arc length of 29.81 feet to a ½ inch iron rod with “KHA” cap set;
- 6. South 75°58'55" East, 50.00 feet to a ½ inch iron rod with “KHA” cap set;
- 7. South 74°10'45" East, 123.25 feet to a ½ inch iron rod with “KHA” cap set;
- 8. North 15°34'00" East, 45.08 feet to a ½ inch iron rod with “KHA” cap set;
- 9. South 72°03'45" East, 312.70 feet to a ½ inch iron rod with “KHA” cap set;
- 10. North 17°56'16" East, 89.39 feet to a ½ inch iron rod with “KHA” cap set;
- 11. North 27°41'16" East, 293.07 feet to a ½ inch iron rod with “KHA” cap set;
- 12. South 62°18'43" East, 17.51 feet to a ½ inch iron rod with “KHA” cap set;
- 13. North 27°41'17" East, 180.83 feet to a ½ inch iron rod with “KHA” cap set;
- 14. South 62°18'44" East, 113.32 feet to a ½ inch iron rod with “KHA” cap set;
- 15. South 27°41'18" West, 50.81 feet to a ½ inch iron rod with “KHA” cap set;
- 16. South 62°18'44" East, 170.00 feet to a ½ inch iron rod with “KHA” cap set;
- 17. North 27°41'16" East, 121.51 feet to a ½ inch iron rod with “KHA” cap set;
- 18. South 62°18'44" East, 120.00 feet to a ½ inch iron rod with “KHA” cap set;
- 19. North 27°41'16" East, 45.34 feet to a point of curvature;
- 20. in a northwesterly direction, along a tangent curve to the left, a central angle of 89°41'56", a radius of 15.00 feet, a chord bearing and distance of North 17°09'42" West, 21.16 feet, and a total arc length of 23.48 feet to a ½ inch iron rod with “KHA” cap set;
- 21. North 62°00'40" West, 66.96 feet to a ½ inch iron rod with “KHA” cap set;
- 22. North 27°59'20" East, 50.00 feet to a ½ inch iron rod with “KHA” cap set;
- 23. South 62°00'40" East, 55.51 feet to a point of curvature;
- 24. in a southeasterly direction, along a tangent curve to the left, a central angle of 52°01'12", a radius of 15.00 feet, a chord bearing and distance of South 88°01'16" East, 13.16 feet, and a total arc length of 13.62 feet to a point of curvature;
- 25. in a southeasterly direction, along a tangent reverse curve to the right, a central angle of 101°14'21", a radius of 50.00 feet, a chord bearing and distance of South 63°24'42" East, 77.30 feet, and a total arc length of 88.35 feet to a ½ inch iron rod with “KHA” cap set;
- 26. North 84°15'59" East, 20.11 feet to a ½ inch iron rod with “KHA” cap set;
- 27. North 27°11'37" East, 103.41 feet to a ½ inch iron rod with “KHA” cap set;
- 28. North 63°07'29" West, 150.48 feet to a ½ inch iron rod with “KHA” cap set;
- 29. North 62°04'00" West, 168.60 feet to a ½ inch iron rod with “KHA” cap set;
- 30. North 27°56'00" East, 25.00 feet to a ½ inch iron rod with “KHA” cap set on the northeasterly line of said 169.360 acre tract of land same being the southwesterly line of said 100.046 acre tract of land;

THENCE, along the southwesterly line of said 100.046 acre tract of land, the following two (2) course and distances:

- 1. South 62°04'00" East, 168.37 feet to a ½ inch iron rod found for a corner;
- 2. South 63°07'29" East, 479.02 feet to the POINT OF BEGINNING and containing 34.347 acres of land in Travis County, Texas.

SUBDIVISION PLAT ESTABLISHING

PRESIDENTIAL HEIGHTS  
PHASE 5

BEING 34.347 ACRES OF LAND, IN THE GREENBURY GATES SURVEY NUMBER 63, ABSTRACT NUMBER 315 CITY OF MANOR IN TRAVIS COUNTY, TEXAS, AND BEING A PORTION OF THAT CERTAIN 169.360 ACRE TRACT, CONVEYED TO WEST ELGIN DEVELOPMENT CORPORATION, IN DOCUMENT NUMBER 2016071831 OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.  
OCTOBER 14, 2019

Kimley»Horn

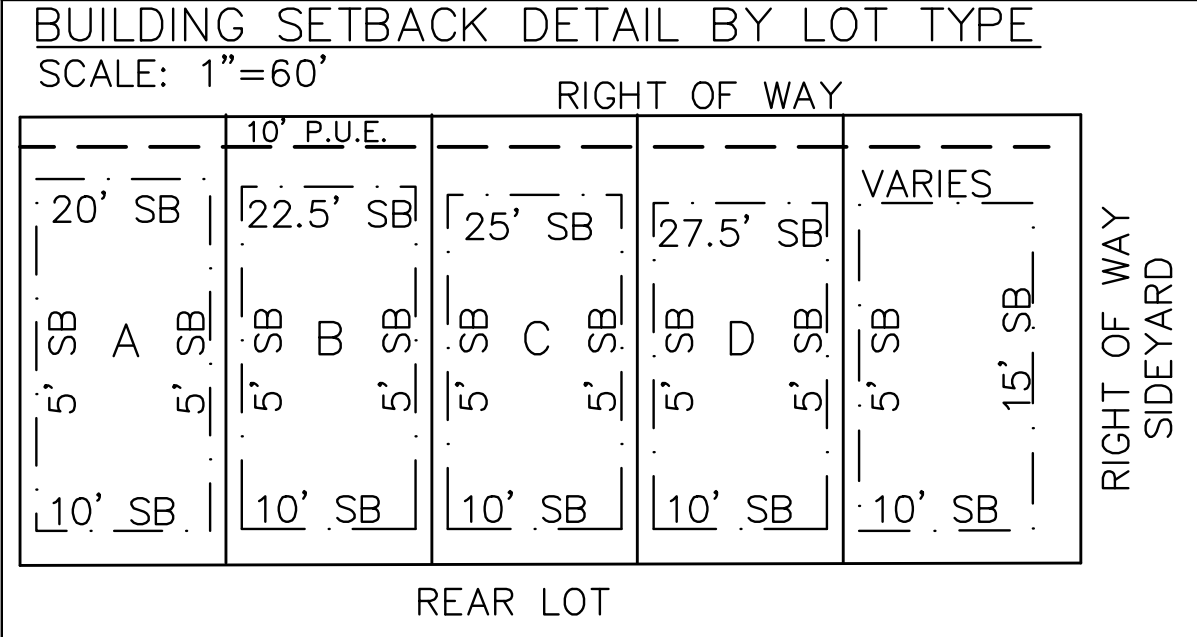
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CURVE TABLE						CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD	NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	101°43'23"	50.00'	88.77'	N42°27'31"E	77.56'	C41	89°59'59"	15.00'	23.56'	N17°18'44"W	21.21'
C2	1°13'06"	1402.00'	29.81'	S13°24'31"W	29.81'	C42	90°00'01"	15.00'	23.56'	N72°41'16"E	21.21'
C3	89°41'56"	15.00'	23.48'	S17°09'42"E	21.16'	C43	27°38'15"	729.00'	351.64'	S13°52'08"W	348.25'
C4	52°01'12"	15.00'	13.62'	N88°01'16"W	13.16'	C44	93°12'42"	15.00'	24.40'	S46°33'20"E	21.80'
C5	101°14'21"	50.00'	88.35'	N63°24'42"W	77.30'	C45	85°26'53"	15.00'	22.37'	N44°06'53"E	20.35'
C6	193°44'21"	50.00'	169.07'	N17°09'42"W	99.28'	C46	26°17'49"	489.00'	224.44'	S14°32'22"W	222.47'
C7	52°01'12"	15.00'	13.62'	S53°41'53"W	13.16'	C47	4°20'26"	1030.00'	78.03'	N89°00'32"E	78.01'
C8	24°13'38"	439.00'	185.63'	S15°34'27"W	184.25'	C48	28°29'47"	609.00'	302.89'	S13°26'23"W	299.78'
C9	55°24'21"	15.00'	14.51'	S24°14'32"E	13.95'						
C10	190°48'14"	50.00'	166.51'	N43°27'25"E	99.56'						
C11	52°01'12"	15.00'	13.62'	N67°09'04"W	13.16'						
C12	93°12'42"	15.00'	24.40'	S40°13'59"W	21.80'						
C13	1°12'50"	729.00'	15.45'	S06°58'47"E	15.45'						
C14	1°32'16"	779.00'	20.91'	S06°49'04"E	20.91'						
C15	87°06'44"	15.00'	22.81'	N49°36'18"W	20.67'						
C16	26°30'31"	625.00'	289.16'	S75°33'59"E	286.59'						
C17	52°01'12"	15.00'	13.62'	N88°19'20"W	13.16'						
C18	194°00'45"	50.00'	169.31'	S17°19'34"E	99.25'						
C19	52°01'12"	15.00'	13.62'	N53°40'12"E	13.16'						
C20	89°58'23"	15.00'	23.55'	N17°19'35"W	21.21'						
C21	90°01'37"	15.00'	23.57"	N72°40'25"E	21.22'						
C22	89°58'23"	15.00'	23.55'	S17°19'35"E	21.21'						
C23	20°16'05"	275.00'	97.28'	S72°26'49"E	96.77'						
C24	86°46'43"	15.00'	22.72'	N54°01'47"E	20.61'						
C25	2°09'33"	1402.00'	52.83'	S11°43'11"W	52.83'						
C26	2°52'21"	1352.00'	67.78'	S12°34'53"W	67.78'						
C27	99°57'57"	15.00'	26.17'	S38°50'16"E	22.98'						
C28	75°50'14"	15.00'	19.85'	N53°15'38"E	18.44'						
C29	2°35'43"	1090.00'	49.37'	S16°38'23"W	49.37'						
C30	18°51'44"	1040.00'	342.38'	S08°30'23"W	340.83'						
C31	12°03'41"	1090.00'	229.46'	S05°04'09"W	229.03'						
C32	91°51'09"	15.00'	24.05'	N44°57'53"E	21.55'						
C33	26°30'31"	575.00'	266.03'	S75°33'59"E	263.66'						
C34	89°58'20"	15.00'	23.55'	S17°19'34"E	21.21'						
C35	90°01'37"	15.00'	23.57'	S72°40'25"W	21.22'						
C36	26°30'28"	325.00'	150.36'	S75°34'01"E	149.02'						
C37	99°55'14"	15.00'	26.16'	N38°51'38"W	22.97'						
C38	92°14'11"	15.00'	24.15'	S47°02'35"E	21.62'						
C39	87°06'44"	15.00'	22.81'	N43°16'57"E	20.67'						
C40	27°57'41"	779.00'	380.17'	S13°42'25"W	376.41'						

LINE TABLE		
NO.	BEARING	LENGTH
L1	S15°34'00"W	45.08'
L2	N62°18'43"W	17.51'
L3	S27°41'16"W	45.34'
L4	S62°00'40"E	66.96'
L5	S27°59'20"W	50.00'
L6	N62°00'40"W	55.51'
L7	S84°15'59"W	20.11'
L8	S27°56'00"W	25.00'
L9	S82°24'47"W	50.00'
L10	S27°41'17"W	14.00'
L11	S62°18'43"E	70.99'
L12	S27°41'17"W	15.00'
L13	N62°18'43"W	70.99'
L14	N27°41'17"E	21.00'
L15	N62°18'44"W	12.50'
L16	S62°18'44"E	22.50'
L17	N62°18'44"W	10.00'
L18	N27°41'16"E	15.00'
L19	S62°18'44"E	10.00'
L20	N27°41'16"E	30.05'
L21	S62°18'44"E	15.00'
L22	S27°41'16"W	30.05'
L23	N27°59'20"E	23.06'
L24	S27°59'20"W	11.94'



PRESIDENTIAL HEIGHTS PHASE 5  
GENERAL INFORMATION:

TOTAL ACREAGE.....34.347 ACRES

LINEAR FOOT OF 50' ROW.....5,395'

NUMBER OF SINGLE FAMILY LOTS.....120

ACREAGE OF RESIDENTIAL LOTS.....20.354 ACRES

NUMBER OF NON-RESIDENTIAL LOTS.....2

ACREAGE OF NON-RESIDENTIAL LOTS.....7.810 ACRES

TOTAL NUMBER OF LOTS.....122

BENCH MARK LIST

TBM #3 - RAILROAD SPIKE FOUND AT THE INTERSECTION OF THE SOUTHWESTERLY RIGHT OF WAY LINE OF TOWER ROAD WITH THE NORTHWESTERLY RIGHT OF WAY LINE OF BOIS D ARC ROAD, NEXT TO A FIBER OPTIC MARKER, ELEVATION 552.94 FEET

THE STATE OF TEXAS            )(  
COUNTY OF TRAVIS            )(

KNOW ALL MEN BY THESE PRESENTS:

WHEREAS, WEST ELGIN DEVELOPMENT CORPORATION., A TEXAS CORPORATION, THE OWNER OF 34.347 ACRE TRACT OF LAND IN THE GREENBURY GATES SURVEY NUMBER 63, ABSTRACT NUMBER 315, TRAVIS COUNTY, TEXAS, AND BEING A PORTION OF THAT CERTAIN CALLED 169.360 ACRE TRACT, CONVEYED TO WEST ELGIN DEVELOPMENT CORPORATION, AS RECORDED UNDER DOCUMENT NUMBER 2016071831, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY TEXAS, AND DO HEREBY SUBDIVIDE SAID, HAVING BEEN APPROVED FOR SUBDIVISION, PURSUANT TO THE PUBLIC NOTIFICATION AND HEARING PROVISION OF CHAPTER 212 AND 232 OF THE LOCAL GOVERNMENT CODE.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT THE UNDERSIGNED OWNER OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS "PRESIDENTIAL HEIGHTS PHASE 5 OF THE CITY OF MANOR, TRAVIS COUNTY, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY SUBDIVIDES SAID 34.347 ACRES OF LAND OF SAID IN ACCORDANCE WITH THE ATTACHED MAP OR PLAT TO BE KNOW AS "PRESIDENTIAL HEIGHTS PHASE 5 AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS AND PUBLIC EASEMENTS THEREON SHOWN FOR THE PURPOSED AND CONSIDERATION THEREIN EXPRESSED: SUBJECT TO ANY EASEMENT OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.

WITNESS MY HAND THIS DAY \_\_\_\_\_, 2019,

BY: \_\_\_\_\_  
WEST ELGIN DEVELOPMENT CORPORATION,  
A TEXAS CORPORATION  
PETER A. DWYER  
PRESIDENT  
9900 U.S. HIGHWAY 290 E  
MANOR, TEXAS 78653–9720

THE STATE OF TEXAS    )(  
COUNTY OF TRAVIS    )(

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED PETER A. DWYER KNOWN TO ME TO BE THE PERSON OR AGENT WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY HEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2019,

\_\_\_\_\_  
NOTARY PUBLIC  
NOTARY REGISTRATION NUMBER \_\_\_\_\_  
MY COMMISSION EXPIRES: \_\_\_\_\_  
COUNTY OF TRAVIS  
THE STATE OF TEXAS

CONSENT OF LIENHOLDER

THE UNDERSIGNED, BEING THE HOLDER OF A DEED OF TRUST LIEN DATED \_\_\_\_\_ RECORDED AS DOCUMENT NO. \_\_\_\_\_ IN THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS AND THE DEED OF TRUST LIEN DATED \_\_\_\_\_ AND RECORDED AS \_\_\_\_\_ IN THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS HEREBY CONSENTS TO THE FOREGOING FINAL PLAT AND AGREES THAT ITS DEED OF TRUST LIEN IS SUBJECT TO AND SUBORDINATE TO THE FINAL PLAT, AND THAT THE UNDERSIGNED HAS AUTHORITY TO EXECUTE AND DELIVER THIS CONSENT OF LIENHOLDER, AND THAT ALL NECESSARY ACTS NECESSARY TO BIND THE LIENHOLDER HAVE BEEN TAKEN.

INTERNATIONAL BANK OF COMMERCE  
BY: \_\_\_\_\_  
NAME: \_\_\_\_\_  
TITLE: \_\_\_\_\_

THE STATE OF TEXAS    )(  
COUNTY OF TRAVIS    )(

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019, BY \_\_\_\_\_, AS \_\_\_\_\_ OF THE INTERNATIONAL BANK OF COMMERCE, ON BEHALF OF SAID BANK.

\_\_\_\_\_  
NOTARY PUBLIC  
NOTARY REGISTRATION NUMBER \_\_\_\_\_  
MY COMMISSION EXPIRES: \_\_\_\_\_  
COUNTY OF TRAVIS  
THE STATE OF TEXAS

THE STATE OF TEXAS    )(  
COUNTY OF TRAVIS    )(

I, JOSHUA W. MIKSCH, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF ENGINEERING, AND HEREBY CERTIFY THAT THIS PLAT IS FEASIBLE FROM AN ENGINEERING STAND POINT AND COMPLIES WITH THE ENGINEERING RELATED PORTION OF THE CITY OF MANOR, TEXAS SUBDIVISION ORDINANCE, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

THIS SITE IS LOCATED IN THE COTTONWOOD CREEK WATERSHED.

NO PORTION OF THIS SITE LIES WITHIN THE BOUNDARIES OF THE 100 YEAR FLOODPLAIN AS SHOWN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 48453C0485J, EFFECTIVE DATE AUGUST 18, 2014, TRAVIS COUNTY, TEXAS AND INCORPORATED AREAS.

\_\_\_\_\_  
JOSHUA W. MIKSCH, P.E.  
REGISTERED PROFESSIONAL ENGINEER No. 122089  
KIMLEY–HORN AND ASSOCIATES, INC.  
10814 JOLLYVILLE ROAD  
AVALLON IV, SUITE 300  
AUSTIN, TEXAS 78759

I, JOHN G. MOSIER, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING, AND HEREBY CERTIFY THAT THIS PLAT COMPLIES WITH THE SURVEYING RELATED PORTIONS OF THE CITY OF MANOR, TEXAS SUBDIVISION ORDINANCE IS TRUE AND CORRECT, AND WAS PREPARED FROM AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION.

\_\_\_\_\_  
JOHN G. MOSIER  
REGISTERED PROFESSIONAL LAND SURVEYOR  
NO. 6330 – STATE OF TEXAS  
601 NW LOOP 410, SUITE 350  
SAN ANTONIO, TEXAS 78216  
Ph. 210–321–3402  
greg.mosier@kimley–horn.com

SUBDIVISION PLAT ESTABLISHING

PRESIDENTIAL HEIGHTS  
PHASE 5

BEING 34.347 ACRES OF LAND, IN THE GREENBURY GATES SURVEY NUMBER 63, ABSTRACT NUMBER 315 CITY OF MANOR IN TRAVIS COUNTY, TEXAS, AND BEING A PORTION OF THAT CERTAIN 169.360 ACRE TRACT, CONVEYED TO WEST ELGIN DEVELOPMENT CORPORATION, IN DOCUMENT NUMBER 2016071831 OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.  
OCTOBER 14, 2019

SURVEYOR:  
KIMLEY-HORN AND ASSOCIATES, INC.  
601 NW LOOP 410, SUITE 350  
SAN ANTONIO, TEXAS 78216  
PH: (210) 321-3427 FAX: (210) 541-8699  
CONTACT: JOHN G. MOSIER, R.P.L.S.  
TBPLS FIRM REGISTRATION NO. 10193973

CIVIL ENGINEER:  
KIMLEY-HORN AND ASSOCIATES, INC.  
10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 300  
AUSTIN, TEXAS 78759  
TBPE FIRM REGISTRATION NO. F-928  
PH: (512) 418-1771 FAX: (512) 418-1791  
CONTACT: JOSHUA W. MIKSCH, P.E.

OWNER/DEVELOPER:  
WEST ELGIN DEVELOPMENT CORPORATION,  
A TEXAS CORPORATION  
9900 U.S. HIGHWAY 290 E,  
MANOR TEXAS, 78653-9720  
PH: (512) 327-7415  
CONTACT: DANNY BURNETT

CITY OF MANOR ACKNOWLEDGMENTS

THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF MANOR CORPORATE CITY LIMITS AS OF THIS DATE. \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.  
  
ACCEPTED AND AUTHORIZED FOR RECORD BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MANOR, TEXAS, ON THIS THE DATE. \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.  
  
APPROVED: \_\_\_\_\_ ATTEST: \_\_\_\_\_  
PLANNING & ZONING CHAIRPERSON LLUVIA ALMARAZ, CITY SECRETARY

ACCEPTED AND AUTHORIZED FOR RECORD BY THE CITY COUNCIL OF THE CITY OF MANOR, TEXAS, ON THIS THE DATE. \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.  
  
APPROVED: \_\_\_\_\_ ATTEST: \_\_\_\_\_  
DR. LARRY WALLACE, JR, MAYOR LLUVIA ALMARAZ, CITY SECRETARY

COUNTY OF TRAVIS:  
STATE OF TEXAS;  
KNOW ALL ME BY THESE PRESENTS:

I, DANA DEBEAUVOIR, CLERK OF TRAVIS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE DATE. \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_, AT \_\_\_\_\_ O'CLOCK\_\_\_\_\_, DULY RECORDED ON THE DAY OF \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ IN THE PLAT RECORDS OF SAID COUNTY AND STATE IN DOCUMENT NUMBER \_\_\_\_\_, OFFICIAL RECORDS OF TRAVIS COUNTY, TEXAS.

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY CLERK, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.  
  
DANA DEBEAUVOIR, COUNTY CLERK, TRAVIS COUNTY, TEXAS

BY: \_\_\_\_\_  
DEPUTY

MUNICIPAL UTILITY DISTRICT:

THE TRACT OF LAND SHOWN HEREON IS WITHIN THE BOUNDARIES OF THE PRESIDENTIAL GLEN MUNICIPAL UTILITY DISTRICT.

DATE \_\_\_\_\_ KENNETH SCHROEDER, P.E. M.U.D. ENGINEER  
SCHROEDER ENGINEERING COMPANY

GENERAL NOTES:

1. PROPERTY OWNERS OF THE LOTS ON WHICH THE PUBLIC UTILITY EASEMENT OR THE UNDERGROUND STORM WATER DRAINAGE FACILITIES EASEMENT ARE LOCATED AS SHOWN ON THIS PLAT SHALL PROVIDE ACCESS TO THE CITY OF MANOR IN ORDER FOR THE CITY OF MANOR TO INSPECT AND MAINTAIN THE UNDERGROUND FACILITIES LOCATED WITHIN ANY OF SUCH EASEMENTS.
2. A 10’ PUBLIC UTILITY EASEMENT IS HEREBY DEDICATED ALONG AND ADJACENT TO ALL STREET RIGHTS OF WAY.
3. PUBLIC SIDEWALKS BUILT TO CITY OF MANOR STANDARDS, ARE REQUIRED ALONG ALL STREETS WITHIN THIS SUBDIVISION, THESE SIDEWALKS SHALL BE IN PLACE PRIOR TO THE ADJOINING LOT BEING OCCUPIED, FAILURE TO CONSTRUCT THE REQUIRED SIDEWALKS MAY RESULT IN THE WITHHOLDING OF CERTIFICATES OF OCCUPANCY. BUILDING PERMITS, OR UTILITY CONNECTIONS BY THE GOVERNING BODY OR UTILITY COMPANY.
4. DRIVEWAY AND DRAINAGE CONSTRUCTION STANDARDS SHALL BE IN ACCORDANCE WITH THE REQUIREMENT OF THE CITY OF MANOR STANDARDS UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE CITY OF MANOR.
5. THE OWNER OF THE SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF MANOR.
6. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTION IS MADE TO THE CITY OF MANOR WATER AND WASTEWATER SYSTEM.
7. NO BUILDINGS SHALL BE CONSTRUCTED OR MAINTAINED WITHIN THE PUBLIC UTILITIES EASEMENTS OR THE UNDERGROUND STORM WATER FACILITIES EASEMENT WITHOUT THE PRIOR WRITTEN APPROVAL OF THE CITY OF MANOR. THE CITY OF MANOR IS NOT RESPONSIBLE FOR THE DAMAGE TO OR REPLACING ANY PORTIONS OF ANY FENCING, LANDSCAPING OR OTHER IMPROVEMENTS CONSTRUCTED WITHIN ANY EASEMENTS WHICH WERE NOT APPROVED BY THE CITY OF MANOR BEFORE THEIR CONSTRUCTION DUE TO THE NECESSARY AND CUSTOMARY WORK BY THE CITY OF MANOR IN REPAIRING, MAINTAINING, OR REPLACING THE UNDERGROUND PIPES AND RELATED FACILITIES WITHIN SUCH EASEMENTS.
8. ALL STREETS, DRAINAGE IMPROVEMENTS, SIDEWALKS, WATER AND WASTEWATER LINES, AND EROSION CONTROLS SHALL BE CONSTRUCTED AND INSTALLED TO CITY OF MANOR STANDARDS.
9. EROSION CONTROLS ARE REQUIRED FOR ALL CONSTRUCTION ON INDIVIDUAL LOTS, INCLUDING DETACHED SINGLE FAMILY IN ACCORDANCE WITH SECTION 1.4.0 OF THE CITY OF AUSTIN ENVIRONMENTAL CRITERIA MANUAL AS AMENDED.
10. ALL STREETS IN THE SUBDIVISION SHALL BE CONSTRUCTED TO CITY OF MANOR URBAN STREET STANDARDS. ALL STREETS WILL BE CONSTRUCTED WITH CURB AND GUTTER.
11. PRIOR TO CONSTRUCTION, EXCEPT DETACHED SINGLE FAMILY ON ANY LOT IN THIS SUBDIVISION, A SITE DEVELOPMENT PERMIT MUST BE OBTAINED FROM THE CITY OF MANOR.
12. THE COVENANTS, CONDITIONS AND RESTRICTIONS ASSOCIATED WITH THIS SUBDIVISION ARE RECORDED UNDER DOCUMENT NUMBER 2016167420 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.
13. THE SUBDIVISION OWNER/DEVELOPER AS IDENTIFIED ON THIS PLAN IS RESPONSIBLE FOR POSTING FISCAL SURVEY FOR THE CONSTRUCTION OF ALL SIDEWALKS AS SHOWN OR LISTED ON THE PLAN, WHETHER INSTALLED BY THE OWNER/DEVELOPER OR INDIVIDUAL HOMEBUILDERS. IT IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER TO ENSURE ALL SIDEWALKS ARE ADA COMPLIANT UNLESS A WAIVER HAS BEEN GRANTED BY THE TEXAS DEPARTMENT OF LICENSING AND REGULATION.
14. VARIANCES HAVE BEEN GRANTED FROM ORDINANCE 263 OF THE CITY OF MANOR, TEXAS PURSUANT TO EXHIBIT F OF THE REVISED AND RESTATED DEVELOPMENT AGREEMENT FOR THE PRESIDENTIAL GLEN SUBDIVISION, AS AMENDED, BETWEEN PRESIDENTIAL GLEN LTD., WEST ELGIN DEVELOPMENT CORPORATION AND THE CITY OF MANOR, DATED JANUARY 18TH 2012.
15. THE BEARINGS SHOWN HEREON ARE TIED TO THE TEXAS STATE PLANE COORDINATE SYSTEM GRID, CENTRAL ZONE 4203 (NAD'83), AS DETERMINED BY THE GLOBAL POSITIONING SYSTEM (GPS). ALL DISTANCES SHOWN HEREON ARE ON THE SURFACE. THE COMBINED SURFACE TO GRID SCALE FACTOR IS 0.99992097045. THE UNIT OF LINEAR MEASUREMENT IS U.S. SURVEY FEET.
16. ALL LOTS WILL BE MONUMENTED PRIOR TO LOT SALES AND AFTER ROAD CONSTRUCTION, WITH  $\frac{1}{2}$ " IRON RODS WITH "KHA" CAP UNLESS OTHERWISE NOTED.
17. DEDICATION AND CONVEYANCE OF LOT 20, BLOCK T, THE OPEN SPACE PARK FACILITIES, DETENTION POND AND SURFACE DRAINAGE IMPROVEMENTS, SHALL BE MADE TO THE CITY OF MANOR, TEXAS IN ACCORDANCE WITH THAT CERTAIN RESTATED, REVISED AND AMENDED AGREEMENT REGARDING THE CREATION AND OPERATION OF THE PRESIDENTIAL GLEN MUNICIPAL UTILITY DISTRICT DATED EFFECTIVE JUNE 19, 2009, AS AMENDED. PRESIDENTIAL HEIGHTS RESIDENTIAL COMMUNITY, INC., A TEXAS CORPORATION, AND/OR ITS SUCCESSORS AND ASSIGNS (THE "HOA") SHALL BE RESPONSIBLE FOR MAINTENANCE OF LOT 20, BLOCK T.
18. PRESIDENTIAL HEIGHTS RESIDENTIAL COMMUNITY, INC. A TEXAS CORPORATION, AND/OR ITS SUCCESSORS AND ASSIGNS (THE "HOA") SHALL TAKE OWNERSHIP AND BE RESPONSIBLE FOR MAINTENANCE OF LOT 27, BLOCK L.

Kimley»Horn

**JAY ENGINEERING COMPANY, INC.**

P.O. Box 1220 (512) 259-3882  
Leander, TX 78646 Fax 259-8016  
Texas Registered Engineering Firm F-4780

Date: Monday, October 29, 2018

Daniel Becht

10814 Jollyville Rd  
Austin 78641  
daniel.becht@kimley-horn.com

Permit Number 2018-P-1151-FP  
Job Address: Presidential Heights Ph. 5 Final Plat, Manor, TX. 78653

Dear Daniel Becht,

The first submittal of the Presidential Heights Ph. 5 Final Plat (*Final Plat*) submitted by and received on April 29, 2020, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B.

**Engineer Review**

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

1. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(v), the owner's names and the property lines of property within three hundred (300) feet of the subdivision boundary, together with the respective plat or deed references should be shown on the final plat. There appear to be owner names that are not listed.
2. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(xi), where new streets are being created and named, the applicant must have documentation from Travis County 911 Addressing demonstrating that the street names proposed on the Final Plat are not duplicated within the County.
3. The two lots that are proposed to be owned by the City should be labeled on the plat.
4. A copy of deed restrictions (if applicable) should be submitted.
5. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(d)(2)(v), certification from all applicable taxing authorities that all taxes due on the property have been paid should be submitted with the final plat.
6. The City of Manor will not take ownership of Lot 27, Block L.
7. A note should be added to the plat regarding who will maintain any lots that will be conveyed or dedicated to the City.
8. A note should be added to the plat regarding dedication of any lots to the City.

9. Note that if the construction of all improvements needed to serve the subdivision is not completed prior to the filing of the plat for recordation then the developer must provide financial assurance for the completion of the remainder of those improvements in accordance with the Subdivision Ordinance.

10. Per City of Manor Code of Ordinances Chapter 10 Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(d)(iv), a copy of the deed restrictions or covenants, if such documents are to be used should be provided.

11. On Sheet 1 the owner of the proposed Presidential Heights Phase 4 should be shown on the plat.

12. On Sheet 1 there is a wastewater easement shown to enter the proposed Phase 5 and run along Samuel Adams to George Mason. Is this a temporary easement?

13. On Sheet 1 there are 15' drainage easements shown off George Mason and Alexander Hamilton. Clarify the purpose of these easements.

14. On Sheet 2 the owner of Presidential Heights Phase 4 should be shown on the plat.

15. Per Section 24(a)(2) of Subdivision Ordinance 263B the final plat cannot be approved until the construction plans are approved.

16. The acreage for Lot 20 Block T should be listed on the final plat as well as the acreage for Lot 27 Block L.

17. The general information listed on Sheet 3 of the plat is for Presidential Heights Phase 3.

18. The following note should be added to the plat:

"Dedication and conveyance of Lot 20, Block T, the Public Park Facility and Surface Drainage Improvements, shall be made to the City of Manor, Texas in accordance with that certain Restated, Revised and Amended Agreement Regarding the Creation and Operation of the Presidential Glen Municipal Utility District dated effective June 19, 2009, as amended. Presidential Heights Residential Community, Inc., a Texas corporation, and/or its successors and assigns (the "HOA") shall be responsible for maintenance of Lot 20, Block T."

19. In accordance with the parkland dedication section of the City's code of ordinances, Lot 20 Block T needs to be conveyed to the City via Special Warranty Deed. The warranty deed will need to be recorded at the same time or prior to the plat recordation.

20. Note that the City will only take ownership of Lot 20, Block T if the total acreage of the lot is 12.58 acres or greater.

21. The City will not take ownership of Lot 27, Block L and a plat note needs to be added as follows:

"Presidential Heights Residential Community, Inc., a Texas corporation, and/or its successors and assigns (the "HOA") shall be responsible for maintenance of Lot 27, Block L."



Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. Please include a comment response narrative indicating how comments have been addressed with your plan resubmittal. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

Additional comments may be generated as requested information is provided. Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,

A handwritten signature in blue ink, reading "Pauline M. Gray". The signature is cursive and fluid.

Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.

July 3, 2019

Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.  
P.O. Box 1220  
Leader, Texas 78646-1220

**RE: 2018-P-1151-FP  
Presidential Heights Ph. 5 Final Plat  
Manor, TX 78653**

Dear Pauline Gray, P.E.,

Please accept this *Comment Response Letter* in reply to Jay Engineering Company Inc.'s review, dated October 29<sup>th</sup>, 2018 regarding the above referenced project. Original comments have been included below for reference. All Kimley-Horn responses are listed in [blue](#).

1. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(v), the owner's names and the property lines of property within three hundred (300) feet of the subdivision boundary, together with the respective plat or deed references should be shown on the final plat. There appear to be owner names that are not listed.  
[Response: Owner information has been added to the Final Plat.](#)
2. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(xi), where new streets are being created and named, the applicant must have documentation from Travis County 911 Addressing demonstrating that the street names proposed on the Final Plat are not duplicated within the County.  
[Response: Please see attached, email correspondence with 911 Addressing Approving all street names in Phase 5.](#)
3. The two lots that are proposed to be owned by the City should be labeled on the plat.  
[Response: Please see note 17 outlining what lot shall be owned by the City. Also, please see table on Sheet 2.](#)
4. A copy of deed restrictions (if applicable) should be submitted.  
[Response: A copy of the existing deed restrictions and covenant's recorded under Doc. No. 2016167420 have been provided with this submittal. Phase 5 will be annexed into the HOA once subdivision construction improvements have been completed.](#)

5. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(d)(2)(v), certification from all applicable taxing authorities that all taxes due on the property have been paid should be submitted with the final plat.  
*Response: Tax Certificates have been provided with this submittal.*
6. The City of Manor will not take ownership of Lot 27, Block L.  
*Response: Noted. The following note has been added to the Plat as Note #18: The City of Manor will not take ownership of Lot 27, Block L. Presidential Heights Residential Community, Inc., a Texas corporation, and/or its successors and assigns (the "HOA") shall be responsible for maintenance of Lot 27, Block L.*
7. A note should be added to the plat regarding who will maintain any lots that will be conveyed or dedicated to the City.  
*Response: Please see notes 17 & 18 of plat sheet 4.*
8. A note should be added to the plat regarding dedication of any lots to the City.  
*Response: Please see note 17 on plat sheet 4.*
9. Note that if the construction of all improvements needed to serve the subdivision is not completed prior to the filing of the plat for recordation then the developer must provide financial assurance for the completion of the remainder of those improvements in accordance with the Subdivision Ordinance.  
*Response: Noted.*
10. Per City of Manor Code of Ordinances Chapter 10 Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(d)(iv), a copy of the deed restrictions or covenants, if such documents are to be used should be provided.  
*Response: Response: A copy of the existing deed restrictions and covenant's recorded under Doc. No. 2016167420 have been provided with this submittal.*
11. On Sheet 1 the owner of the proposed Presidential Heights Phase 4 should be shown on the plat.  
*Response: Owner information has been shown on Sheet 1.*
12. On Sheet 1 there is a wastewater easement show to enter the proposed Phase 5 and run along Samuel Adams to George Mason. Is this a temporary easement?  
*Response: Please see attached Wastewater Easement Doc. No. 2018098438. This document states that when a public ROW is platted overtop this easement, the portion of the easement is vacated.*
13. On Sheet 1 there are 15' drainage easements shown off George Mason and Alexander Hamilton. Clarify the purpose of these easements.  
*Response: This easement contains stormwater infrastructure that must be built with Phase 5. Should we prepare an easement document for this easement?*

14. On Sheet 2 the owner of Presidential Heights Phase 4 should be shown on the plat.  
*Response: Owner information has been shown on Sheet 2.*
15. Per Section 24(a)(2) of Subdivision Ordinance 263B the final plat cannot be approved until the construction plans are approved.  
*Response: Noted.*
16. The acreage for Lot 20 Block T should be listed on the final plat as well as the acreage for Lot 27 Block L.  
*Response: Acreage for these lots have been provided on the Final Plat.*
17. The general information listed on Sheet 3 of the plat is for Presidential Heights Phase  
*Response: This table has been revised to reflect Phase 5.*
18. The following note should be added to the plat:  
"Dedication and conveyance of Lot 20, Block T, the Public Park Facility and Surface Drainage Improvements, shall be made to the City of Manor, Texas in accordance with that certain Restated, Revised and Amended Agreement Regarding the Creation and Operation of the Presidential Glen Municipal Utility District dated effective June 19, 2009, as amended. Presidential Heights Residential Community, Inc., a Texas corporation, and/or its successors and assigns (the "HOA") shall be responsible for maintenance of Lot 20, Block T."  
*Response: The requested note has been added to Sheet 4. See note 17.*
19. In accordance with the parkland dedication section of the City's code of ordinances, Lot 20 Block T needs to be conveyed to the City via Special Warranty Deed. The warrant deed will need to be recorded at the same time or prior to the plat recordation.  
*Response: Applicant and Owner would like to request that the deed recordation conveying the public parkland lots be delayed until after Phase 5 subdivision construction improvements have been fully constructed and accepted by the City of Manor as was approved with Phases 3 and 4. The desire is for the owner to maintain control of the public parkland lots until all required improvements have been constructed and accepted. Can this requirement be delayed until after full project acceptance, in accordance with the development agreement?*
20. Note that the City will only take ownership of Lot 20, Block T if the total acreage of the lot is 12.58 acres or greater.  
*Response: Great meeting with you, Scott, and Veronica last week. As discussed, please see attached for the "As-dedicated" Parkland Exhibit and the overlay of the 2016 Parkland Exhibit on the current platted lot layout to show the pond areas. We understand that this exhibit addresses the concern for Lot 20, Block T as the exhibit shows Presidential Glen/Presidential Heights to exceed the parkland dedication requirement of 33 acres in the development agreement. The total parkland acreage for Presidential Heights is 31.57 acres and Presidential Glen is 29.79 acres which totals to 61.08 acres and exceeds the 33 acre parkland requirement by 24.03 acres.*



*All of this is tabulated on the new parkland exhibit. Please see attached for Presidential Glen Final Plats 4B, 5, 6 & 7 which were used to prepare parkland totals in the Parkland (per Final Plat) table included on the Ph. 1-4 Platted Ph. 5-6 Unplatted Open Space and Parkland Exhibit for Ownership and Intended Use Exhibit.*

21. The City will not take ownership of Lot 27, Block L and a plat note needs to be added as follows:

"Presidential Heights Residential Community, Inc., a Texas corporation, and/or its successors and assigns (the "HOA") shall be responsible for maintenance of Lot 27, Block L."

*Response: The requested note has been added to Sheet 4, Note 18.*

Should you have any questions or additional comments, please feel free to contact me using the information in my signature below.

Sincerely,

KIMLEY-HORN & ASSOCIATES, INC.



Joshua W. Miksch, P.E.

Date: Wednesday, July 31, 2019

Daniel Becht

10814 Jollyville Rd  
Austin 78641  
daniel.becht@kimley-horn.com

Permit Number 2018-P-1151-FP

Job Address: Presidential Heights Ph. 5 Final Plat, Manor 78653

Dear Daniel Becht,

The subsequent submittal of the Presidential Heights Ph. 5 Final Plat submitted by and received on April 29, 2020, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):

#### **Engineer Review**

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

- ~~1. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance-263B Section 24(c)(1)(v), the owner's names and the property lines of property within three hundred (300) feet of the subdivision boundary, together with the respective plat or deed references should be shown on the final plat. There appear to be owner names that are not listed.~~
- ~~2. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance-263B Section 24(c)(1)(xi), where new streets are being created and named, the applicant must have documentation from Travis County 911 Addressing demonstrating that the street names proposed on the Final Plat are not duplicated within the County.~~
- ~~3. The two lots that are proposed to be owned by the City should be labeled on the plat.~~
- ~~4. A copy of deed restrictions (if applicable) should be submitted.~~
- ~~5. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance-263B Section 24(d)(2)(v), certification from all applicable taxing authorities that all taxes due on the property have been paid should be submitted with the final plat.~~
- 6. The City of Manor will not take ownership of Lot 27, Block L. The City Attorney will need to review Plat Note #18.**
- ~~7. A note should be added to the plat regarding who will maintain any lots that will be conveyed or dedicated to the City.~~
- ~~8. A note should be added to the plat regarding dedication of any lots to the City.~~
- ~~9. Note that if the construction of all improvements needed to serve the subdivision is not completed prior to the~~

~~filing of the plat for recordation then the developer must provide financial assurance for the completion of the remainder of those improvements in accordance with the Subdivision Ordinance.~~

~~10. Per City of Manor Code of Ordinances Chapter 10 Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(d)(iv), a copy of the deed restrictions or covenants, if such documents are to be used should be provided.~~

~~11. On Sheet 1 the owner of the proposed Presidential Heights Phase 4 should be shown on the plat.~~

~~12. On Sheet 1 there is a wastewater easement shown to enter the proposed Phase 5 and run along Samuel Adams to George Mason. Is this a temporary easement?~~

**13. On Sheet 1 there are 15' drainage easements shown off George Mason and Alexander Hamilton. Clarify the purpose of these easements. An easement document should be submitted for review.**

~~14. On Sheet 2 the owner of Presidential Heights Phase 4 should be shown on the plat.~~

~~15. Per Section 24(a)(2) of Subdivision Ordinance 263B the final plat cannot be approved until the construction plans are approved.~~

~~16. The acreage for Lot 20 Block T should be listed on the final plat as well as the acreage for Lot 27 Block L.~~

~~17. The general information listed on Sheet 3 of the plat is for Presidential Heights Phase 3.~~

~~18. The following note should be added to the plat:~~

~~"Dedication and conveyance of Lot 20, Block T, the Public Park Facility and Surface Drainage Improvements, shall be made to the City of Manor, Texas in accordance with that certain Restated, Revised and Amended Agreement Regarding the Creation and Operation of the Presidential Glen Municipal Utility District dated effective June 19, 2009, as amended. Presidential Heights Residential Community, Inc., a Texas corporation, and/or its successors and assigns (the "HOA") shall be responsible for maintenance of Lot 20, Block T."~~

**19. In accordance with the parkland dedication section of the City's code of ordinances, Lot 20 Block T needs to be conveyed to the City via Special Warranty Deed. The warranty deed will need to be recorded at the same time or prior to the plat recordation. The developer's request for delaying parkland dedication is being reviewed by the City and the City Attorney.**

**~~20. Note that the City will only take ownership of Lot 20, Block T if the total acreage of the lot is 12.58 acres or greater.~~**

~~21. The City will not take ownership of Lot 27, Block L and a plat note needs to be added as follows:~~

~~"Presidential Heights Residential Community, Inc., a Texas corporation, and/or its successors and assigns (the "HOA") shall be responsible for maintenance of Lot 27, Block L."~~

**22. At this time, the plat cannot be approved until legal (City Attorney) determines if there are any additional notes covering parkland needed.**

**23. The City Secretary's name should be updated. It is Lluvia Almaraz.**

**24. Note #3 under general notes should read governing not covering.**

**25. Note #9 should state what Environmental Criteria Manual is being used and should say as amended.**

**26. On Note #14 the date should read January 18, 2012.**

**27. Note #17 may need to be revised. The parkland information is still under review by the City**

**Attorney.**

**28. The request regarding waiting until Phase 5 is accepted by the City in order to convey the parkland to the City does not follow the development agreement. Per the development agreement, the License Agreement is required prior to the City accepting the improvement. A draft agreement letter between the developer and City should be provided for review. The letter should state that the developer agrees that within 5-10 days of final acceptance of the subdivision improvements, the license agreement will be recorded. The letter should state that it is an agreement between the developer and the City.**

**29. Note #18 under the general notes should be revised. Delete the references to the City of Manor not taking ownership of the lot. The note should dedicate the lot to the HOA.**

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (512) 259-3882 ex. 307, or by e-mail at [pgray@jaeco.net](mailto:pgray@jaeco.net).

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.





October 29, 2019

Pauline Gray, PE  
Jay Engineering Company, Inc.  
P.O. Box 1220  
Leander, Texas 78646-1220

**RE: 2018-P-1151-FP  
Presidential Heights Ph. 5 Final Plat  
Manor, TX 78653**

Please accept this Comment Response Letter in reply to Jay Engineering Company, Inc.'s review, dated July 31, 2019. Original comments have been included. All Kimley-Horn responses are listed in maroon.

**Engineer Review**

6. The City of Manor will not take ownership of Lot 27, Block L. The City Attorney will need to review Plat Note #18.

**Response: The note has been revised.**

13. On Sheet 1 there are 15' drainage easements shown off George Mason and Alexander Hamilton. Clarify the purpose of these easements.

**Response: This easement contains stormwater infrastructure that must be built with Phase 5 but will be contained within future Phase 6 ROW. Please see attached for draft copies of these easements for the interim condition for your review.**

19. In accordance with the parkland dedication section of the City's code of ordinances, Lot 20 Block T needs to be conveyed to the City via Special Warranty Deed. The warranty deed will need to be recorded at the same time or prior to the plat recordation. The developer's request for delaying parkland dedication is being reviewed by the City and the City Attorney.

**Response: Noted. Please advise if the City or City Attorney has any additional questions/comments.**

22. At this time, the plat cannot be approved until legal (City Attorney) determines if there are any additional notes covering parkland needed.

**Response: Noted. Please provide any additional direction or comments.**

23. The City Secretary's name should be updated. It is Lluvia Almaraz.

**Response: The City Secretary's name has been revised.**

24. Note #3 under general notes should read governing not covering.

**Response: Note #3 has been revised.**

25. Note #9 should state what Environmental Criteria Manual is being used and should say as amended.

**Response: Note #9 has been revised to read "City of Austin Environmental Criteria Manual".**

26. On Note #14 the date should read January 18, 2012.

**Response: The date has been revised.**

27. Note #17 may need to be revised. The parkland information is still under review by the City Attorney.

**Response: Noted. This note will be revised as necessary based on the City Attorneys review.**

28. The request regarding waiting until Phase 5 is accepted by the City in order to convey the parkland to the City does not follow the development agreement. Per the development agreement, the License Agreement is required prior to the City accepting the improvement. A draft agreement letter between the developer and City should be provided for review. The letter should state that the developer agrees that within 5-10 days of final acceptance of the subdivision improvements, the license agreement will be recorded. The letter should state that it is an agreement between the developer and the City.

**Response: Special Warranty Deeds and License Agreements for all Presidential Heights have been reviewed by City staff and approved. Developer is currently executing all documents except for Phase 5, which will be executed in the timeline referenced above.**

29. Note #18 under the general notes should be revised. Delete the references to the City of Manor not taking ownership of the lot. The note should dedicate the lot to the HOA.

**Response: Note #18 now reads "Presidential Heights Residential Community, Inc., A Texas Corporation, an/or its successors and assigns (The "HOA") shall take ownership and be responsible for maintenance of Lot 27, Block L."**

Please contact me directly should you require additional information or have further questions.

Sincerely,

KIMLEY-HORN & ASSOCIATES, INC.



Joshua W. Miksch, P.E.

Date: Tuesday, November 19, 2019

Daniel Becht

10814 Jollyville Rd  
Austin 78641  
daniel.becht@kimley-horn.com

Permit Number 2018-P-1151-FP

Job Address: Presidential Heights Ph. 5 Final Plat, Manor 78653

Dear Daniel Becht,

The subsequent submittal of the Presidential Heights Ph. 5 Final Plat submitted by and received on April 29, 2020, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):

#### **Engineer Review**

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

- ~~1. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(v), the owner's names and the property lines of property within three hundred (300) feet of the subdivision boundary, together with the respective plat or deed references should be shown on the final plat. There appear to be owner names that are not listed.~~
- ~~2. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(xi), where new streets are being created and named, the applicant must have documentation from Travis County 911 Addressing demonstrating that the street names proposed on the Final Plat are not duplicated within the County.~~
- ~~3. The two lots that are proposed to be owned by the City should be labeled on the plat.~~
- ~~4. A copy of deed restrictions (if applicable) should be submitted.~~
- ~~5. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(d)(2)(v), certification from all applicable taxing authorities that all taxes due on the property have been paid should be submitted with the final plat.~~
- 6. The City of Manor will not take ownership of Lot 27, Block L. The City Attorney will need to review Plat Note #18**
- ~~7. A note should be added to the plat regarding who will maintain any lots that will be conveyed or dedicated to the City.~~
- ~~8. A note should be added to the plat regarding dedication of any lots to the City.~~
- ~~9. Note that if the construction of all improvements needed to serve the subdivision is not completed prior to the filing of the plat for recordation then the developer must provide financial assurance for the completion of the remainder of those improvements in accordance with the Subdivision Ordinance.~~

~~10. Per City of Manor Code of Ordinances Chapter 10 Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(d)(iv), a copy of the deed restrictions or covenants, if such documents are to be used should be provided.~~

~~11. On Sheet 1 the owner of the proposed Presidential Heights Phase 4 should be shown on the plat.~~

~~12. On Sheet 1 there is a wastewater easement shown to enter the proposed Phase 5 and run along Samuel Adams to George Mason. Is this a temporary easement?~~

**13. On Sheet 1 there are 15' drainage easements shown off George Mason and Alexander Hamilton. Clarify the purpose of these easements. An easement document should be submitted for review.**

~~14. On Sheet 2 the owner of Presidential Heights Phase 4 should be shown on the plat.~~

~~15. Per Section 24(a)(2) of Subdivision Ordinance 263B the final plat cannot be approved until the construction plans are approved.~~

~~16. The acreage for Lot 20 Block T should be listed on the final plat as well as the acreage for Lot 27 Block L.~~

~~17. The general information listed on Sheet 3 of the plat is for Presidential Heights Phase 3.~~

~~18. The following note should be added to the plat:~~

~~"Dedication and conveyance of Lot 20, Block T, the Public Park Facility and Surface Drainage Improvements, shall be made to the City of Manor, Texas in accordance with that certain Restated, Revised and Amended Agreement Regarding the Creation and Operation of the Presidential Glen Municipal Utility District dated effective June 19, 2009, as amended. Presidential Heights Residential Community, Inc., a Texas corporation, and/or its successors and assigns (the "HOA") shall be responsible for maintenance of Lot 20, Block T."~~

**19. In accordance with the parkland dedication section of the City's code of ordinances, Lot 20 Block T needs to be conveyed to the City via Special Warranty Deed. The warranty deed will need to be recorded at the same time or prior to the plat recordation. The developer's request for delaying parkland dedication is being reviewed by the City and the City Attorney. The draft warranty deeds and license agreements have been reviewed by City Staff and the City Attorney. No further edits are required. The documents for Phases 1-5 should be finalized for execution.**

~~**20. Note that the City will only take ownership of Lot 20, Block T if the total acreage of the lot is 12.58 acres or greater.**~~

~~21. The City will not take ownership of Lot 27, Block L and a plat note needs to be added as follows:~~

~~"Presidential Heights Residential Community, Inc., a Texas corporation, and/or its successors and assigns (the "HOA") shall be responsible for maintenance of Lot 27, Block L."~~

~~**22. At this time, the plat cannot be approved until legal (City Attorney) determines if there are any additional notes covering parkland needed.**~~

~~**23. The City Secretary's name should be updated. It is Lluvia Almaraz.**~~

~~**24. Note #3 under general notes should read governing not covering.**~~

**25. Note #9 should state what Environmental Criteria Manual is being used and should say as amended.**

~~**26. On Note #14 the date should read January 18, 2012.**~~

~~**27. Note #17 may need to be revised. The parkland information is still under review by the City Attorney.**~~



**28. The request regarding waiting until Phase 5 is accepted by the City in order to convey the parkland to the City does not follow the development agreement. Per the development agreement, the License Agreement is required prior to the City accepting the improvement. A draft agreement letter between the developer and City should be provided for review. The letter should state that the developer agrees that within 5-10 days of final acceptance of the subdivision improvements, the license agreement will be recorded. The letter should state that it is an agreement between the developer and the City.**

**~~29. Note #18 under the general notes should be revised. Delete the references to the City of Manor not taking ownership of the lot. The note should dedicate the lot to the HOA.~~**

**30. Remove the P&Z Chairperson's name. It should just read P&Z Chairperson.**

**31. Update the Mayor's name to the new Mayor, Dr. Larry Wallace, Jr.**

**32. Attached are Word documents of the City Attorney's changes to the proposed easements. The easements will need to be recorded prior to the final plat.**

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (512) 259-3882 ex. 307, or by e-mail at [pgray@jaeco.net](mailto:pgray@jaeco.net).

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.



March 20, 2019

Pauline Gray, PE  
Jay Engineering Company, Inc.  
P.O. Box 1220  
Leander, Texas 78646-1220

**RE: 2018-P-1151-FP  
Presidential Heights Ph. 5 Final Plat  
Manor, TX 78653**

Please accept this Comment Response Letter in reply to Jay Engineering Company, Inc.'s review, dated November 19, 2019. Original comments have been included. All Kimley-Horn responses are listed in maroon.

19. In accordance with the parkland dedication section of the City's code of ordinances, Lot 20 Block T needs to be conveyed to the City via Special Warranty Deed. The warranty deed will need to be recorded at the same time or prior to the plat recordation. The developer's request for delaying parkland dedication is being reviewed by the City and the City Attorney. The draft warranty deeds and license agreements have been reviewed by City Staff and the City Attorney. No further edits are required. The documents for Phase 1-5 should be finalized for execution.

**Response: All Ph. 1-4 warranty deeds and license agreements have been executed by the developer and are in the City's possession for execution and recordation. Proposed Phase 5 warranty deed and license agreement have been drafted and agreed to by the City and developer. However, execution of this document will be provided prior to final plat recordation (see attached correspondence from City Attorney confirming this).**

25. Note #9 should state what Environmental Criteria Manual is being used and should say as amended.

**Response: Note #9 has been revised to read "City of Austin Environmental Criteria Manual".**

28. The request regarding waiting until Phase 5 is accepted by the City in order to convey the parkland to the City does not follow the development agreement. Per the development agreement, the License Agreement is required prior to the City accepting the improvement. A draft agreement letter between the developer and City should be provided for review. The letter should state that the developer agrees that within 5-10 days of final acceptance of the subdivision improvements, the license agreement will be recorded. The letter should state that it is an agreement between the developer and the City.

**Response: Phase 5 license agreement has been drafted and agreed to by the City and developer. However, execution of this document will be provided prior to final plat recordation.**

30. Remove the P&Z Chairperson's name. It should just read P&Z Chairperson.

**Response: The P&Z Chairpersons name has been removed and now only reads "P&Z Chair Person".**

31. Update the Mayors name to the new Mayor, Dr. Larry Wallace, Jr.

**Response: The Mayors name has been updated to read "Dr. Larry Wallace, Jr.".**

32. Attached are word documents of the City Attorneys changes to the proposed easements. The easements will ne to be recorded prior to the final plat.

**Response: The drainage easements have been executed by the developer and are in the City's possession for execution and recordation.**

Please contact me directly should you require additional information or have further questions.

Sincerely,

KIMLEY-HORN & ASSOCIATES, INC.



Joshua W. Miksch, P.E.

Date: Thursday, April 16, 2020

Daniel Becht

10814 Jollyville Rd  
Austin 78641  
daniel.becht@kimley-horn.com

Permit Number 2018-P-1151-FP

Job Address: Presidential Heights Ph. 5 Final Plat, Manor 78653

Dear Daniel Becht,

The subsequent submittal of the Presidential Heights Ph. 5 Final Plat submitted by and received on April 29, 2020, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):

#### **Engineer Review**

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

- ~~1. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(v), the owner's names and the property lines of property within three hundred (300) feet of the subdivision boundary, together with the respective plat or deed references should be shown on the final plat. There appear to be owner names that are not listed.~~
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**20. Note that the City will only take ownership of Lot 20, Block T if the total acreage of the lot is 12.58 acres or greater.**

~~21. The City will not take ownership of Lot 27, Block L and a plat note needs to be added as follows:~~

~~"Presidential Heights Residential Community, Inc., a Texas corporation, and/or its successors and assigns (the "HOA") shall be responsible for maintenance of Lot 27, Block L."~~

**22. At this time, the plat cannot be approved until legal (City Attorney) determines if there are any additional notes covering parkland needed.**

**23. The City Secretary's name should be updated. It is Lluvia Almaraz.**

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**~~31. Update the Mayor's name to the new Mayor, Dr. Larry Wallace, Jr.~~**

**~~32. Attached are Word documents of the City Attorney's changes to the proposed easements. The easements will need to be recorded prior to the final plat.~~**

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (512) 259-3882 ex. 307, or by e-mail at [pgray@jaeco.net](mailto:pgray@jaeco.net).

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.

**JAY ENGINEERING COMPANY, INC.**

*P.O. Box 1220 (512) 259-3882  
Leander, TX 78646 Fax 259-8016  
Texas Registered Engineering Firm F-4780*

Date: Wednesday, April 29, 2020

Daniel Becht

10814 Jollyville Rd  
Austin 78641  
daniel.becht@kimley-horn.com

Permit Number 2018-P-1151-FP

Job Address: Presidential Heights Ph. 5 Final Plat, Manor 78653

Dear Daniel Becht,

We have conducted a review of the final plat for the above-referenced project, submitted by Daniel Becht and received by our office on April 29, 2020, for conformance with City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A, Article II, Section 24. The Plat appears to be in general compliance with City Ordinance requirements and we, therefore, take no exception to their approval as presented. Please submit TWO (2) mylar copies of the final plat along with a current tax certificate and a check made out to Travis County for the filing fees to the City of Manor for signatures. One mylar is for City records and the other is for Travis County.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance. Please call if you have any questions or need additional information.

Sincerely,



Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.



## AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 13, 2020

PREPARED BY: Scott Dunlop, Assistant Development Director

DEPARTMENT: Development Services

---

### AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Final Plat for Shadowglen Section 22, seventy (70) lots on 13.72 acres, more or less, and being located near Misty Grove Boulevard and Silent Falls Way, Manor, TX. Applicant: Kimley-Horn & Associates Owner: SG Land Holdings, LLC

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### BACKGROUND/SUMMARY:

This plat has been approved by our engineer.

PRESENTATION: ☐ YES ☐ NO

ATTACHMENTS: ☐ YES (IF YES, LIST IN ORDER TO BE PRESENTED) ☐ NO

Plat

Engineer Comments

Conformance Letter

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### STAFF RECOMMENDATION:

It is City staff's recommendation that the Planning and Zoning Commission approve a Final Plat for Shadowglen Section 22, seventy (70) lots on 13.72 acres, more or less, and being located near Misty Grove Boulevard and Silent Falls Way, Manor, TX.

PLANNING & ZONING COMMISSION: ☐ RECOMMENDED APPROVAL ☐ DISAPPROVAL ☐ NONE



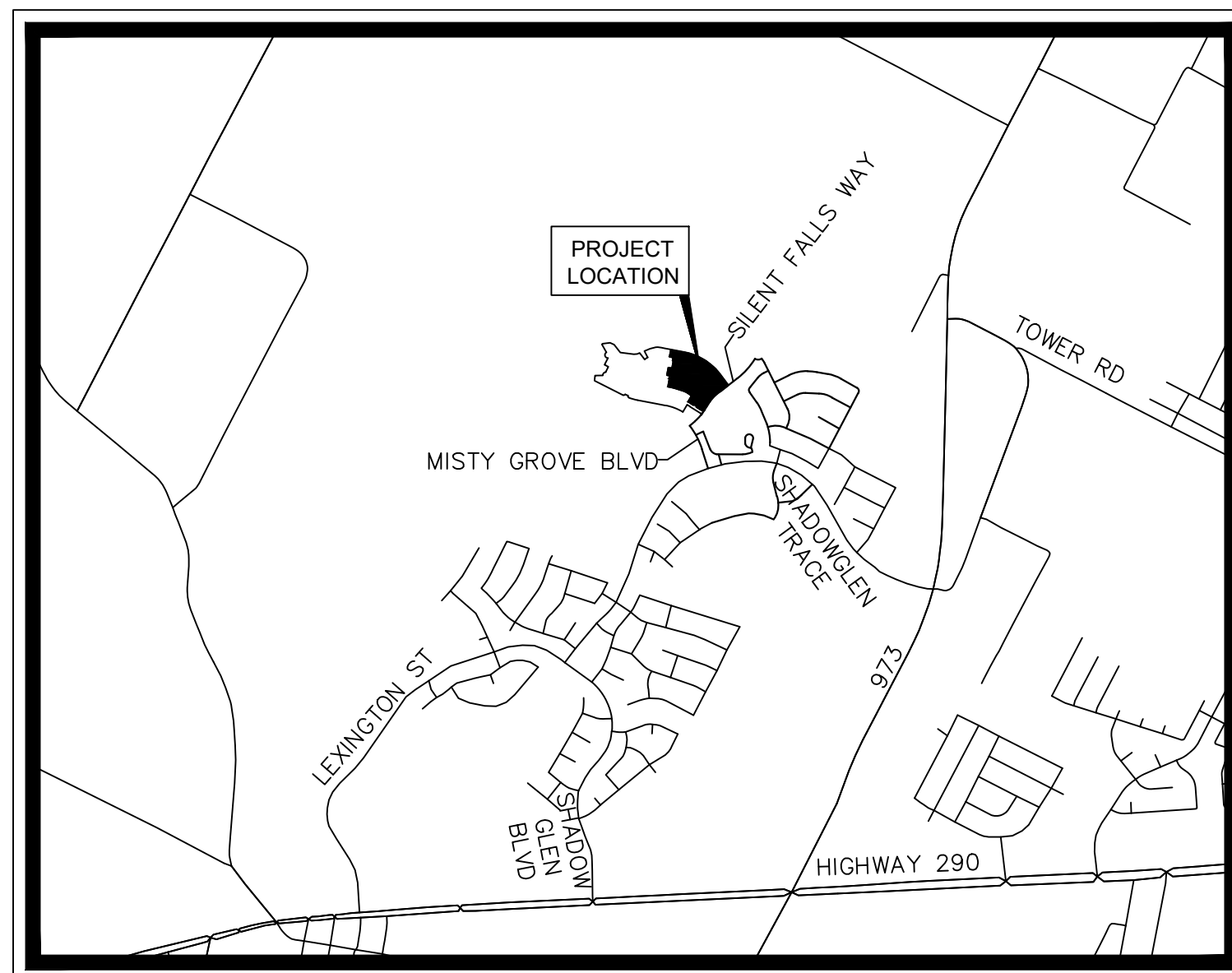
# TRAVIS COUNTY CONSUMER PROTECTION NOTICE FOR HOMEBUYERS

IF YOU ARE BUYING A LOT OR HOME, YOU SHOULD DETERMINE WHETHER IT IS INSIDE OR OUTSIDE THE CITY LIMITS.

DEPENDING ON STATE LAW AND OTHER FACTORS, LAND OUTSIDE THE CITY LIMITS MAY BE SUBJECT TO FEWER LOCAL GOVERNMENT CONTROLS OVER THE DEVELOPMENT AND USE OF LAND THAN INSIDE THE CITY LIMITS.

BECAUSE OF THIS, LOCAL GOVERNMENT MAY NOT BE ABLE TO RESTRICT THE NATURE OR EXTENT OF DEVELOPMENT NEAR THE LOT OR HOME NOR PROHIBIT NEARBY LAND USES THAT ARE INCOMPATIBLE WITH A RESIDENTIAL NEIGHBORHOOD.

THIS CAN AFFECT THE VALUE OF YOUR PROPERTY. TRAVIS COUNTY REQUIRES THIS NOTICE TO BE PLACED ON SUBDIVISION PLATS. IT IS NOT A STATEMENT OR REPRESENTATION OF THE OWNER OF THE PROPERTY, THE SUBDIVIDER, OR THEIR REPRESENTATIVES.



**VICINITY MAP**  
SCALE: 1" = 2,000'

## SHADOWGLEN PHASE 2 SECTION 22

13.719 ACRES

OUT OF A CALLED 276.88 ACRE PARCEL 2 CONVEYED TO SG  
LAND HOLDINGS LLC  
DOC. NO. 2012217281, OPRTC  
WILLIAM SANDERFORD SURVEY NO. 70, ABSTRACT NO. 743  
CITY OF MANOR ETJ, TRAVIS COUNTY, TEXAS

OWNER/DEVELOPER:  
SG LAND HOLDINGS, LLC  
2392 MORSE AVENUE  
IRVINE, CALIFORNIA 93614  
PH: (949) 241-8414  
CONTACT: RUSS ALLISON

SURVEYOR:  
KIMLEY-HORN AND ASSOCIATES, INC.  
LAND SURVEYOR NO. 6330  
601 NW LOOP 410, SUITE 350  
SAN ANTONIO, TEXAS 78216  
PH: (210) 541-9166  
CONTACT: ABEL STENDAHL, R.P.L.S.

CIVIL ENGINEER:  
KIMLEY-HORN AND ASSOCIATES, INC.  
10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 200  
AUSTIN, TEXAS 78759  
TBPE FIRM REGISTRATION NO. F-928  
PH: (512) 418-1771 FAX: (512) 418-1791  
CONTACT: ALLISON KENNAUGH, P.E.

**Kimley»Horn**

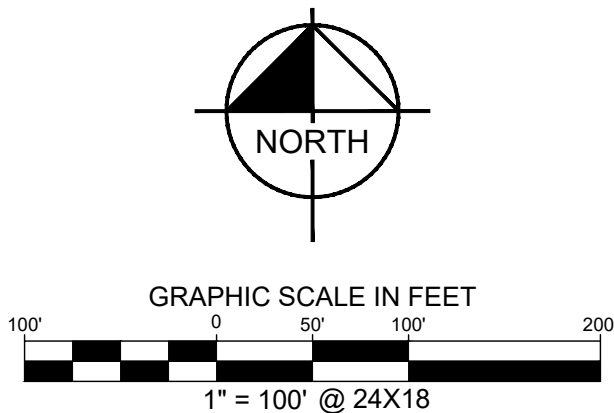
601 NW Loop 410, Suite 350  
San Antonio, Texas 78216

FIRM # 10193973

Tel. No. (210) 541-9166  
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 2000'	MAV	JGM	FEB. 2019	069254501	1 OF 4

CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	21°23'54"	545.00'	203.54'	S42°59'50"W	202.36'
C2	89°35'56"	25.00'	39.09'	S77°15'58"W	35.23'
C3	90°13'57"	15.00'	23.62'	N12°49'05"W	21.26'
C4	89°46'03"	15.00'	23.50'	S77°10'55"W	21.17'
C5	3°26'42"	1029.99'	61.93'	N59°39'25"W	61.92'
C6	90°00'00"	15.00'	23.56'	N34°12'30"W	21.21'
C7	42°54'17"	800.00'	599.06'	N57°45'21"W	585.16'
C8	21°23'54"	705.00'	263.30'	N42°59'50"E	261.77'
C9	24°43'15"	500.00'	215.73'	S59°21'47"E	214.06'
C11	7°29'05"	1304.97'	170.47'	S75°27'57"E	170.35'
C12	0°28'22"	1304.97'	10.77'	N78°58'19"W	10.77'
C13	90°00'00"	15.00'	23.56'	N55°47'30"E	21.21'
C14	87°50'12"	15.00'	23.00'	S33°07'36"E	20.81'
C15	90°00'00"	15.00'	23.56'	S55°47'30"W	21.21'
C16	90°00'00"	25.00'	39.27'	S81°18'13"E	35.36'
C17	90°00'00"	25.00'	39.27'	N08°41'47"E	35.36'
C18	90°00'00"	15.00'	23.56'	N81°18'13"W	21.21'
C19	90°00'00"	15.00'	23.56'	N08°41'47"E	21.21'
C20	86°55'20"	15.00'	22.76'	N89°32'10"E	20.64'
C21	86°55'20"	15.00'	22.76'	N03°32'30"W	20.64'
C22	2°52'22"	980.00'	49.14'	N59°22'15"W	49.13'
C23	96°18'33"	25.00'	42.02'	N09°46'47"W	37.25'
C24	15°06'36"	455.00'	119.99'	N45°55'47"E	119.65'
C25	82°17'15"	25.00'	35.90'	S85°22'17"E	32.90'
C26	14°58'05"	845.00'	220.75'	N51°42'43"W	220.12'
C27	3°30'21"	455.00'	27.84'	S36°37'19"W	27.84'
C28	26°07'51"	15.00'	6.84'	S23°51'26"W	6.78'



**SHADOWGLEN PHASE 2  
SECTION 22**  
13.719 ACRES  
OUT OF A CALLED 276.88 ACRE PARCEL 2  
CONVEYED TO SG LAND HOLDINGS LLC  
DOC. NO. 2012217281, OPRTC  
WILLIAM SANDERFORD SURVEY NO. 70,  
ABSTRACT NO. 743  
CITY OF MANOR, TRAVIS COUNTY, TEXAS

CIVIL ENGINEER:  
KIMLEY-HORN AND ASSOCIATES, INC.  
10814 JOLLYVILLE ROAD, AVALON IV, SUITE 200  
AUSTIN, TEXAS 78759  
TBPE FIRM REGISTRATION NO. F-928  
PH: (512) 418-1771 FAX: (512) 418-1791  
CONTACT: ALLISON KENNAUGH, P.E.

SURVEYOR:  
KIMLEY-HORN AND ASSOCIATES, INC.  
LAND SURVEYOR NO. 6330  
601 NW LOOP 410, SUITE 350  
SAN ANTONIO, TEXAS 78216  
PH: (210) 541-9166  
CONTACT: ABEL STENDAHL, R.P.L.S.

OWNER/DEVELOPER:  
SG LAND HOLDINGS, LLC  
2392 MORSE AVENUE  
IRVINE, CALIFORNIA 93614  
PH: (949) 241-8414  
CONTACT: RUSS ALLISON

**GENERAL INFORMATION:**  
TOTAL ACREAGE.....13.719 ACRES  
TOTAL LINEAR FEET OF ROW.....2,418'  
LINEAR FOOT OF 50' ROW.....2,418'  
ACREAGE OF ROW.....2,676 ACRES  
NUMBER OF SINGLE FAMILY LOTS.....69  
ACREAGE OF SINGLE FAMILY LOTS.....10.861 ACRES  
NUMBER OF NON-RESIDENTIAL LOTS.....1  
ACREAGE OF NON-RESIDENTIAL LOTS.....0.182 ACRES  
TOTAL NUMBER OF LOTS.....70

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	MAV	JGM	FEB. 2019	069254501	2 OF 4

LINE TABLE			LINE TABLE			LINE TABLE		
NO.	BEARING	LENGTH	NO.	BEARING	LENGTH	NO.	BEARING	LENGTH
L1	S78°53'41"E	52.34'	L21	N71°43'25"W	50.00'	L41	N51°02'02"E	52.87'
L2	S76°06'44"E	55.58'	L22	N72°55'33"W	48.52'	L42	N38°57'58"W	51.49'
L3	S72°44'31"E	55.58'	L23	N75°20'36"W	48.52'	L43	N48°36'19"W	52.01'
L4	S69°22'18"E	55.58'	L24	N77°45'40"W	48.52'	L44	N53°09'23"W	52.01'
L5	S66°00'04"E	55.58'	L25	N79°10'18"W	15.52'	L45	N57°42'26"W	52.01'
L6	S62°37'51"E	55.58'	L26	N79°12'30"W	12.37'	L46	N62°15'30"W	52.01'
L7	S59°15'38"E	55.58'	L27	N10°47'30"E	130.00'	L47	N66°48'34"W	52.01'
L8	S55°53'25"E	55.58'	L28	N79°12'30"W	6.13'	L48	N71°21'38"W	52.01'
L9	S52°31'11"E	55.58'	L29	N10°47'30"E	50.00'	L49	N75°54'42"W	52.01'
L10	S49°08'58"E	55.58'	L30	N79°12'30"W	45.00'	L50	S49°16'17"E	12.36'
L11	S45°46'45"E	55.58'	L31	N10°47'30"E	125.00'	L51	S57°56'04"E	4.98'
L12	S42°24'32"E	55.58'	L32	S79°12'30"E	60.00'	L52	S71°37'35"E	7.79'
L13	S39°02'19"E	55.58'	L33	N10°47'30"E	110.00'	L53	N57°56'04"W	0.37'
L14	N58°04'26"W	50.00'	L34	N30°09'12"E	8.36'	L54	S36°28'45"E	8.22'
L15	N57°56'04"W	33.46'	L35	N10°47'30"E	50.00'	L55	S48°45'35"W	95.56'
L16	N30°09'12"E	112.93'	L36	N79°12'30"W	57.74'	L56	S36°38'02"E	166.58'
L17	N52°34'33"W	50.11'	L37	S79°12'30"E	29.23'	L57	S78°01'24"E	243.44'
L18	N57°46'33"W	45.36'	L38	S37°25'27"W	54.82'	L58	N85°06'35"W	57.21'
L19	N65°18'53"W	45.36'	L39	N38°53'23"E	59.52'			
L20	N71°17'25"W	48.38'	L40	N42°56'16"E	5.62'			

LEGEND	
IRSC	1/2" IRON ROD W/ "KHA" CAP SET
IRFC	1/2" IRON ROD FOUND W/ CAP
OPRTC	OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY TEXAS
P.O.C.	POINT OF COMMENCING
P.O.B.	POINT OF BEGINNING
ROW	RIGHT OF WAY
D.E.	DRAINAGE EASEMENT
S.D.E.	SIGHT DISTANCE EASEMENT
W.W.E.	WASTEWATER EASEMENT
B.L.	BUILDING LINE
.....	SIDEWALK

**NOTE:** See Sheet 3 of 4 for typical Setback Detail

The State of California §  
County of Orange §

Know all men by these presents:

Whereas, SG Land Holdings LLC, the owner of a 13.719 acre tract of land in the William Sanderford Survey No. 70, Abstract No. 743, Travis County, Texas, and being a portion of that certain called 267.88 acre tract, conveyed to SG Land Holdings LLC, as recorded under document number 2012217281, Official Public Records of Travis County Texas, and do hereby subdivide said, 13.719 acre tract having been approved for subdivision, pursuant to Chapter 212 and 232 of the Local Government Code.

Now, therefore, know all men by these presents: that the undersigned owner of the land shown on this plat, and designated herein as Shadowglen Phase 2, SECTION 22 of the City of Manor, Travis County, Texas, and whose name is subscribed hereto, hereby subdivides said 13.719 acre of land of said in accordance with the attached map or plat to be know as Shadowglen Phase 2, Section 22 and do hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, public easements, and public places thereon shown for the purposed and consideration therein expressed: subject to any easement or restrictions heretofore granted and not released.

Witness my hand this day \_\_\_\_\_, \_\_\_\_.

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Address: 2392 Morse Avenue  
Irvine, California 93614

The State of California §  
County of Orange §

This instrument was acknowledged before me on the \_\_\_\_ day of \_\_\_\_\_, 2020, by \_\_\_\_\_, as \_\_\_\_\_ of \_\_\_\_\_, on behalf of said corporation.

Notary Public  
Notary Registration Number \_\_\_\_\_  
My commission expires: \_\_\_\_\_  
County of Orange  
The State of California

Consent of Lienholder

The undersigned, being the holder of a deed of trust lien dated \_\_\_\_\_ recorded as Document No. \_\_\_\_\_ in the Official Public Records of Travis County, Texas and the deed of trust lien dated \_\_\_\_\_ and recorded as \_\_\_\_\_ in the Official Public Records of Travis County, Texas hereby consents to the foregoing final plat and agrees that its deed of trust lien is subject to and subordinate to the final plat, and that the undersigned has authority to execute and deliver this consent of lienholder, and that all necessary acts necessary to bind the lienholder have been taken.

International Bank of Commerce

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

The State of Texas §  
County of Travis §

This instrument was acknowledged before me on the \_\_\_\_ day of \_\_\_\_\_, 2020, by \_\_\_\_\_, as \_\_\_\_\_ of the International Bank of Commerce, on behalf of said bank.

Notary Public  
Notary Registration Number \_\_\_\_\_  
My commission expires: \_\_\_\_\_  
County of Travis  
The State of Texas

The State of Texas §  
County of Travis §

I, Allison Kennaugh, am authorized under the laws of the State of Texas to practice the profession of engineering, and hereby certify that this plat is feasible from an engineering stand point and complies with the engineering related portion of the City of Manor, Texas Subdivision Ordinance, and is true and correct to the best of my knowledge.

This site is located in the Wilbarger Creek Watershed.

No portion of this tract is within the designated flood hazard area as shown on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) #48453C0485J, Travis County, Texas, dated August 18, 2014.

Allison Kennaugh, P.E.  
Registered Professional Engineer No. 114356  
Kimley-Horn and Associates, Inc.  
10814 Jollyville Road  
Avallon IV, suite 300  
Austin, Texas 78759

The State of Texas §  
County of Bexar §

I, Abel P. Stendahl, am authorized under the laws of the State of Texas to practice the profession of surveying, and hereby certify that this plat complies with the surveying related portions of the City of Manor, Texas Subdivision Ordinance is true and correct, and was prepared from an actual survey made on the ground under my direction and supervision.

Abel P. Stendahl  
Registered Professional  
Land Surveyor No. 6754  
601 NW Loop 410, Suite 350  
San Antonio, Texas 78216  
Ph. 210-541-9166

#### Water and Wastewater:

The tract of land shown hereon is within the boundaries of Wilbarger Creek Municipal Utility District (M.U.D.) No. 1 and said M.U.D. has water and wastewater service available upon completion of facilities by the developer.

Date \_\_\_\_\_ M.U.D. Engineer \_\_\_\_\_

The State of Texas §  
County of Travis §

Commissioners Court Resolution

In approving this plat, the Commissioners Court of Travis County, Texas, assumes no obligation to build the streets, roads, and other public thoroughfares shown on this plat or any bridges or culverts in connection therewith. The building of all streets, roads, and other public thoroughfares shown on this plat, and all bridges and culverts necessary to be constructed or placed in such streets, roads, or other public thoroughfares or in connection therewith, is the responsibility of the owner and/or developer of the tract of land covered by this plat in accordance with plans and specifications prescribed by the Commissioners Court of Travis County, Texas.

The owner(s) of the subdivision shall construct the subdivision's street and drainage improvements (the "improvements") to County standards in order for the County to accept the public improvements for maintenance or to release fiscal security posted to secure private improvements. To secure this obligation, the owner(s) must post fiscal security with the County in the amount of the estimated cost of improvements. The owner(s) obligation to construct the improvement to County standards and to post the fiscal security to secure such construction is a continuing obligation binding the owner(s) and their successors and assigns until the public improvements have been accepted for maintenance by the County, or the private improvements have been constructed and are performing to County standards.

The authorization of this plat by the Commissioners Court for filing or the subsequent acceptance for maintenance by Travis County, Texas, of roads and streets in the subdivision does not obligate the County to install street name signs or erect traffic control signs, such as speed limit, stop signs, and yield signs, which is considered to be part of the developer's construction.

#### General Notes:

- The bearings, distances, areas and coordinates shown hereon are Texas State Coordinate System GRID, Central Zone (FIPS 4203) (NAD'83), as determined by the Global Positioning System (GPS) all distances are on the grid. The unit of linear measurement is U.S. Survey Feet.
- All lot corners are monumented with a 1/2-inch iron rod with a plastic cap stamped "KHA" after construction and prior to lot sales.
- Public sidewalks built to City of Manor standards, are required along all streets within this subdivision, these sidewalks shall be in place prior to the lot being occupied, failure to construct the required sidewalks may result in the withholding of certificates of occupancy. Building permits, or utility connections by the covering body or utility company.
- Driveway and drainage construction standards shall be in accordance with the requirement of the City of Manor and Travis County standards unless otherwise specified and approve by the City of Manor and Travis County.
- No lot in this subdivision shall be occupied until connection is made to the Wilbarger Creek Municipal Utility District No. 1 Water and Wastewater System.
- All streets, drainage improvements, sidewalks, water and wastewater lines, and erosion controls shall be constructed and installed to City of Manor and Travis County standards.
- Erosion controls are required for all construction on individual lots, including detached single family in accordance with Section 1.4.0 of the City of Austin Environmental Criteria Manual.
- All streets in the subdivision shall be constructed to City of Manor Urban Street Standards and Travis County Standards. All streets will be constructed with curb and gutter.
- Prior to construction, except detached single family on any lot in this subdivision, a site development permit must be obtained from the City of Manor.
- The subdivision owner/developer as identified on this plan is responsible for posting fiscal surety for the construction of all sidewalks as shown or listed on the plan, whether installed by the owner/developer or individual homebuilders. It is the responsibility of the owner/developer to ensure all sidewalks are ADA compliant unless a waiver has been granted by the Texas Department of Licensing and Regulation.
- No objects, including but not limited to buildings, fences, landscaping or other structures shall be allowed within any drainage easements or drainage easement lots except as approved by Travis County and the City of Manor.
- A 15' Electrical, Natural Gas, Propane, Cable T.V., Telephone, and Internet Easement is hereby dedicated along and adjacent to all street rights of way.
- Building setbacks shall be in accordance with the design guidelines of 2010 Shadowglen LLC and his/her assigns.
- A Travis County Development Permit is required prior to site development of any lots in the subdivision.
- Lot Setback Requirements: (SEE SETBACK DETAIL)  
Front Yard - 25' for regular lots, 20' for irregular lots  
Side Yard - 5'  
Street Side Yard - 15'  
Rear Yard - 10'
- All open space lots are restricted to non-residential uses, including no buildings, fences, walls, or similar structures, and shall be designed as "Common Area" as defined under the Subdivision Covenants, Conditions and Restrictions as recorded under Document No.2003066593 of the Official Public Records of Travis County, These lots will be "owned and Maintained by the Homeowners Association.
- Property owners and/or his/her assigns shall provide for access to the drainage easements as may be necessary and shall not prohibit access by the City of Manor, Wilbarger Creek Municipal Utility District No. 1 and Travis County, for inspection or maintenance of said easement.
- All drainage easements on private property shall be maintained by the owner or his/her assigns.
- Before beginning construction activities on a subdivision lot, the owner must obtain a Travis County Development Permit and, when applicable, implement a Storm Water Pollution Prevention Plan (SWP3). The SWP3 requires implementation of temporary and permanent best management practices, including erosion and sediment controls, for protection of storm water runoff quality, in accordance with the Travis County code.
- Parkland for 69 residential units has been satisfied with this plat.
- Within a sight distance easement any obstruction of sight line by vegetation, fencing, earthwork, buildings, signs or any other object which is determined to cause a traffic hazard is prohibited and may be removed by order of the Travis County Commissioners Court at the owner's expense. The property owner is to maintain an unobstructed view corridor within the bounds of such easement at all times.
- An activity that may adversely affect a tree of eight inches or more in trunk diameter (measured at four feet height above the ground) in a right-of-way accepted for maintenance by Travis County must comply with all standards and requirements in the Travis County Code.
- The Covenants, Conditions and Restrictions associated with this subdivision are recorded under Document number 2003066593 of the Official Public Records of Travis County, Texas.
- Drainage plans shall be submitted to Travis County for review prior to site development. Rainfall run-off shall be held to the amount of existing at undeveloped status by ponding or other approved methods.
- The owner is responsible for maintaining and operating all permanent water quality controls in compliance with all applicable standards and requirements of the Travis County Code. See Document No. \_\_\_\_\_.
- This plat is subject to the Travis County 2016 Water Quality Rules.

City of Manor Acknowledgments

This subdivision is located within the Extra Territorial Jurisdiction of the City of Manor as of this date. \_\_\_\_ day of \_\_\_\_\_.

Accepted and authorized for record by the Planning and Zoning Commission of the City of Manor, Texas, on this the date. \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

Approved: \_\_\_\_\_ Attest: \_\_\_\_\_

Planning and Zoning Commission Chairperson \_\_\_\_\_ Lluvia Alamaz, City Secretary

Accepted and authorized for record by the City Council of the City of Manor, Texas, on this the date. \_\_\_\_ day of \_\_\_\_\_.

Approved: \_\_\_\_\_ Attest: \_\_\_\_\_

Larry Wallace Jr., Mayor \_\_\_\_\_ Lluvia Alamaz, City Secretary

The State of Texas §  
County of Travis §

I, DANA DEBEAUVOIR, CLERK OF TRAVIS COUNTY, TEXAS DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_, A.D. AT \_\_\_\_ O'Clock \_\_M., DULY RECORDED ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_, A.D. AT \_\_\_\_ O'Clock \_\_M., OF SAID COUNTY AND STATE IN DOCUMENT NUMBER \_\_\_\_\_ OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY CLERK, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_, A.D.

DANA DEBEAUVOIR, COUNTY CLERK  
TRAVIS COUNTY, TEXAS

DEPUTY

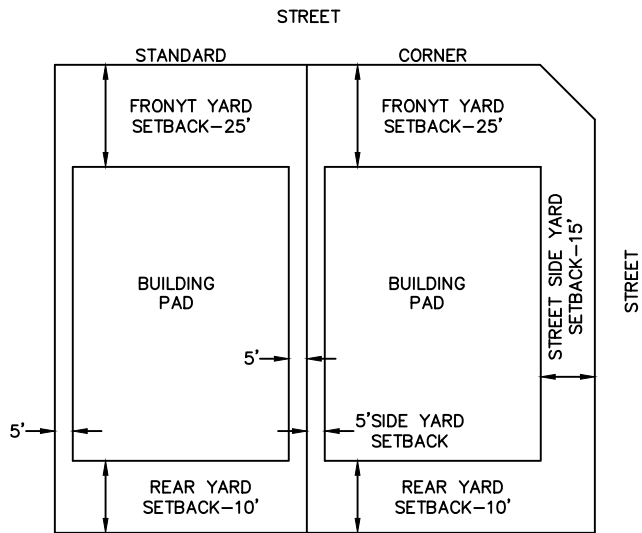
The State of Texas §  
County of Travis §

I, DANA DEBEAUVOIR, CLERK OF THE COUNTY COURT, OF TRAVIS COUNTY, TEXAS, DO HEREBY CERTIFY THAT ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 2019, A.D., THE COMMISSIONERS' COURT OF TRAVIS COUNTY, TEXAS, PASSED AN ORDER AUTHORIZING THE FILING FOR RECORD OF THIS PLAT, AND THAT SAID ORDER WAS DULY ENTERED IN THE MINUTES OF SAID COURT.

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY COURT OF SAID COUNTY, THE \_\_\_\_ DAY OF \_\_\_\_\_, 2019, A.D.

DANA DEBEAUVOIR, COUNTY CLERK, TRAVIS COUNTY, TEXAS

DEPUTY



TYPICAL SETBACK DETAIL  
NOT TO SCALE

**SHADOWGLEN PHASE 2  
SECTION 22  
13.719 ACRES**  
OUT OF A CALLED 276.88 ACRE PARCEL 2  
CONVEYED TO SG LAND HOLDINGS LLC  
DOC. NO. 2012217281, OPRTC  
WILLIAM SANDERFORD SURVEY NO. 70,  
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CONTACT: RUSS ALLISON

601 NW Loop 410, Suite 350  
San Antonio, Texas 78216 FIRM # 10193973  
Tel. No. (210) 541-9166  
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	MAV	JGM	FEB. 2019	069254501	3 OF 4



TRACT 1  
A METES AND BOUNDS  
DESCRIPTION OF A  
12.834 ACRE TRACT OF LAND

BEING a 12.834 acre (559,034 square feet) tract of land situated in the William Sandford Survey No. 70, Abstract No. 743, City of Manor, Travis County, Texas; being a portion of that certain 276.88 acre Parcel 2 described in instrument to SG Land Holdings LLC recorded in Document No. 2012217281 of the Official Public Records of Travis County; and being more particularly described as follows:

COMMENCING at a 1/2-inch iron rod with a plastic cap stamped "McKIM & CREED" found on the proposed southeasterly right-of-way line of "Silent Falls Way" (a proposed 70 feet wide street - not yet of record), marking the northernmost corner of a called 11.608 acre tract of land described in instrument to Manor Independent School District recorded in Document No. 2011045968 of the Official Public Records of Travis County, same being the westernmost northwest corner of Lot 35, Block A of Shadowglen Phase 2 Section 19B, plat of which recorded in Document No. 201800190 of the Official Public Records of Travis County;

THENCE, North 21°30'36" West, 93.26 feet, crossing said Parcel 2 to the proposed northwesterly right-of-way line of said "Silent Falls Way" and the **POINT OF BEGINNING** of the herein described tract;

THENCE, over and across said Parcel 2 the following forty-seven (47) courses and distances:

1. South 53°41'47" West, 277.70 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner at a point of curvature;
2. along a tangent curve to the left, a central angle of 21°23'54", a radius of 545.00 feet, a chord bearing and distance of South 42°59'50" West, 202.36 feet, and a total arc length of 203.54 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
3. South 32°28'00" West, 80.82 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner at a point of curvature;
4. along a tangent curve to the right, a central angle of 89°35'56", a radius of 25.00 feet, a chord bearing and distance of South 77°15'58" West, 35.23 feet, and a total arc length of 39.09 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
5. North 57°56'04" West, 94.80 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner at a point of curvature;
6. along a tangent curve to the right, a central angle of 90°13'57", a radius of 15.00 feet, a chord bearing and distance of North 12°49'05" West, 21.26 feet, and a total arc length of 23.62 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
7. North 58°04'28" West, 50.00 feet to a point of for corner;
8. along a non-tangent curve to the right, a central angle of 89°46'03", a radius of 15.00 feet, a chord bearing and distance of South 77°10'55" West, 21.17 feet, and a total arc length of 23.50 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
9. North 57°56'04" West, 33.46 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner at a point of curvature;
10. along a tangent curve to the left, a central angle of 3°26'42", a radius of 1029.99 feet, a chord bearing and distance of North 59°39'25" West, 61.92 feet, and a total arc length of 61.93 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
11. North 30°09'12" East, 112.93 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
12. North 52°34'33" West, 50.11 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
13. North 57°46'33" West, 45.36 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
14. North 65°18'53" West, 45.36 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
15. North 71°17'25" West, 48.38 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
16. North 71°43'25" West, 50.00 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
17. North 72°55'33" West, 48.52 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
18. North 75°20'36" West, 48.52 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
19. North 77°45'40" West, 48.52 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
20. North 79°10'18" West, 15.52 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
21. North 79°12'30" West, 12.37 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
22. North 10°47'30" East, 130.00 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
23. North 79°12'30" West, 6.13 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
24. North 10°47'30" East, 50.00 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
25. North 79°12'30" West, 45.00 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
26. North 10°47'30" East, 125.00 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
27. South 79°12'30" East, 60.00 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
28. North 10°47'30" East, 110.00 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner at a point of curvature;
29. along a tangent curve to the left, a central angle of 90°00'00", a radius of 15.00 feet, a chord bearing and distance of North 34°12'30" West, 21.21 feet, and a total arc length of 23.56 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
30. North 10°47'30" East, 50.00 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
31. North 79°12'30" West, 57.74 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
32. North 10°47'30" East, 120.00 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
33. South 79°12'30" East, 194.95 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
34. South 78°53'41" East, 52.34 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
35. South 76°06'44" East, 55.58 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
36. South 72°44'31" East, 55.58 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
37. South 69°22'18" East, 55.58 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
38. South 66°00'04" East, 55.58 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
39. South 62°37'51" East, 55.58 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
40. South 59°15'38" East, 55.58 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
41. South 55°53'25" East, 55.58 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
42. South 52°31'11" East, 55.58 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
43. South 49°08'58" East, 55.58 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
44. South 45°46'45" East, 55.58 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
45. South 42°24'32" East, 55.58 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
46. South 39°02'19" East, 55.58 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
47. South 36°28'45" East, 251.74 feet to the **POINT OF BEGINNING** and containing 12.834 acres of land in Travis County, Texas. The basis of bearing for this description is the Texas State Plane Coordinate System Grid, Central Zone (FIPS 4203) (NAD'83). All distances are on the Grid and shown in U.S. Survey Feet. This document was prepared in the office of Kimley-Horn and Associates, Inc. in San Antonio, Texas.

TRACT 2  
A METES AND BOUNDS  
DESCRIPTION OF A  
0.885 ACRE TRACT OF LAND

BEING a 0.885 acre (38,529 square feet) tract of land being a portion of that certain 276.88 acre Parcel 2 described in instrument to SG Land Holdings LLC recorded in Document No. 2012217281 of the Official Public Records of Travis County; and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod (with cap stamped "KHA") found marking the northerly end of the east terminus of Misty Grove Boulevard (90 feet wide) recorded in the plat of Shadowglen Phase 2 Section 21A & 21B in Document No. \_\_\_\_\_ of the Official Public Records of Travis County;

THENCE, in a northwesterly direction, along the northerly right-of-way line of said Misty Grove Boulevard, and along a curve to the left, a central angle of 14°58'05", a radius of 845.00 feet, a chord bearing and distance of North 51°42'43" West, 220.12 feet, and a total arc length of 220.75 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;

THENCE, depart the northerly right-of-way line of said Misty Grove Boulevard and crossing said Parcel 2 the following six (6) courses and distances:

1. North 30°48'15" East, 134.01 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for corner;
2. in a southeasterly direction, along a non-tangent curve to the right, a central angle of 2°52'22", a radius of 980.00 feet, a chord bearing and distance of South 59°22'15" East, 49.13 feet, and a total arc length of 49.14 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for a point of tangency;
3. South 57°56'04" East, 205.68 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for a point of curvature;
4. in a southeasterly direction, along a tangent curve to the right, a central angle of 96°18'33", a radius of 25.00 feet, a chord bearing and distance of South 9°46'47" East, 37.25 feet, and a total arc length of 42.02 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for a point of compound curvature on the proposed westerly right-of-way line of Silent Falls Way (a proposed 70 feet wide street - not yet of record);
5. in a southwesterly direction, along the proposed westerly right-of-way line of said Silent Falls Way, and along a tangent compound curve to the right, a central angle of 15°06'36", a radius of 455.00 feet, a chord bearing and distance of South 45°55'47" West, 119.65 feet, and a total arc length of 119.99 feet to a 1/2-inch iron rod (with cap stamped "KHA") set for a point of compound curvature;
6. in a northwesterly direction, continuing along the proposed westerly right-of-way line of said Silent Falls Way, and along a tangent compound curve to the right, a central angle of 82°17'15", a radius of 25.00 feet, a chord bearing and distance of North 85°22'17" West, 32.90 feet, and a total arc length of 35.90 feet to the **POINT OF BEGINNING**, and containing 0.885 acre of land in Travis County, Texas. The basis of bearing for this description is the Texas State Plane Coordinate System Grid, Central Zone (FIPS 4203) (NAD'83). All distances are on the Grid and shown in U.S. Survey Feet. This document was prepared in the office of Kimley-Horn and Associates, Inc. in San Antonio, Texas.

City of Manor Subdivision Variances:

1. An aerial photograph may be submitted at the preliminary plat stage rather than a tree survey.
2. An inventory of significant trees that identifies the number of significant trees by category (trees 18 inches in caliper and larger and trees between 8 and 18 inches in caliper) to remain during construction and the number of significant trees in each category designated shall be submitted with construction plans.
3. The number of replacement trees that will be installed, without the identification of the particular location at which the replacement trees shall be installed, shall be submitted with construction plans.
4. Significant cottonwood, hackberry or mesquite trees removed shall be replaced at a rate of 50% per caliper inch with an approved hardwood tree. All other significant trees must be replaced at the ratios defined in the City's Subdivision Ordinance.
5. All drainage improvements shall be designed in accordance with the City of Austin's Drainage Criteria Manual ("DCM"), as currently amended, save and except: (i) those provisions of the DCM set out in Section 41(b)(i) of the City of Manor Ordinance No. 195; (ii) Paragraph 1.2.6 of the DCM; (iii) Paragraph 2.2.1.A and 2.2.1.E of the DCM; and (iv) any other provisions of the DCM that would cause the flood plain delineation to be different from the 100-year Floodplain established by FEMA. The location of the 100-year Floodplain shall be the location established by FEMA.
6. The lot size, height and placement, lot coverage, parking, and landscaping for each lot shall be as set forth in the minimum development standards for lots within the Master Land Plan and outside the corporate boundaries of the City of as set forth in the P.U.D. Variances for lots within the P.U.D. and the corporate boundaries of the City.
7. Lots shall not be required to face a similar lot across the street.
8. Side lot lines shall not be required to project away from the front lot line at approximately right angles to street lines and radial to curved street lines.
9. The area within the City's Territorial Jurisdiction Zoned District "O-S" shall satisfy the City's Parkland Dedication requirements for all land shown within the P.U.D. plan or on the Master Land Plan shall be dedicated to the City or to a Municipal Utility District.
10. The area of non-rectangular lots shall be provided with the filing of a final plat.

Applicable P.U.D. Variances from City of Manor Development Standards:

- A. Single-family residential lots in the property shall have a minimum of 6,000 sq. ft., and ten percent (10%) of the lots in the property to have a minimum of 5,000 sq. ft.
- B. Single-family residential lots in the property shall have a minimum of 50 feet of width along the front property line, except as otherwise approved by the City of Manor.
- C. Single-family residential lots in the property shall have a minimum setback from the front of each lot of twenty (20) feet.
- D. Single-family residential lots in the property shall have a minimum setback from the sides of each lot of five (5) feet.
- E. Single-family residential lots in the property shall have a minimum setback from the rear of each lot of ten (10) feet.
- F. The clubhouse and related permitted structures in the space shall have a maximum height of three (3) stories or fifty (50) feet.
- G. A development plan and report shall be submitted with the filing of each final plat.
- H. Revoked by Cotton Holding.
- I. A walkway/bicycle path system shall be submitted with the filing of each final plat.
- J. A LOMR shall be submitted prior to final platting of any lot located within the present 100-year Floodplain.
- K. Single-family residential lots have been granted a variance from the minimum lot widths as shown on the preliminary plat.

CIVIL ENGINEER:  
KIMLEY-HORN AND ASSOCIATES, INC.  
10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 200  
AUSTIN, TEXAS 78759  
TBPE FIRM REGISTRATION NO. F-928  
PH: (512) 418-1771 FAX: (512) 418-1791  
CONTACT: ALLISON KENNAUGH, P.E.

SURVEYOR:  
KIMLEY-HORN AND ASSOCIATES, INC.  
LAND SURVEYOR NO. 6330  
601 NW LOOP 410, SUITE 350  
SAN ANTONIO, TEXAS 78216  
PH: (210) 541-9166  
CONTACT: ABEL STENDAHL, R.P.L.S.

OWNER/DEVELOPER:  
SG LAND HOLDINGS, LLC  
2392 MORSE AVENUE  
IRVINE, CALIFORNIA 93614  
PH: (949) 241-8414  
CONTACT: RUSS ALLISON

LOT TABLE			LOT TABLE		
LOT NO.	ACRES	SQ. FT.	LOT NO.	ACRES	SQ. FT.
BLOCK A LOT 16	0.157	6,849	BLOCK D LOT 16	0.151	6,566
BLOCK A LOT 17	0.157	6,848	BLOCK D LOT 17	0.157	6,849
BLOCK A LOT 18	0.163	7,088	BLOCK D LOT 18	0.164	7,135
BLOCK A LOT 19	0.172	7,480	BLOCK D LOT 19	0.167	7,266
BLOCK A LOT 20	0.236	10,263	BLOCK D LOT 20	0.161	7,018
BLOCK B LOT 1	0.182	7,918	BLOCK D LOT 21	0.163	7,115
BLOCK B LOT 2	0.160	6,958	BLOCK D LOT 22	0.161	7,005
BLOCK B LOT 3	0.169	7,372	BLOCK D LOT 23	0.190	8,257
BLOCK B LOT 4	0.169	7,372	BLOCK E LOT 8	0.171	7,452
BLOCK B LOT 5	0.169	7,372	BLOCK F LOT 50	0.163	7,097
BLOCK B LOT 6	0.169	7,372	BLOCK F LOT 51	0.138	6,018
BLOCK B LOT 7	0.160	6,987	BLOCK F LOT 52	0.138	6,010
BLOCK B LOT 8	0.181	7,906	BLOCK F LOT 53	0.138	6,002
BLOCK C LOT 9	0.154	6,702	BLOCK F LOT 54	0.143	6,219
BLOCK C LOT 10	0.158	6,878	BLOCK F LOT 55	0.147	6,422
BLOCK C LOT 11	0.158	6,878	BLOCK F LOT 56	0.147	6,422
BLOCK C LOT 12	0.153	6,676	BLOCK F LOT 57	0.147	6,422
BLOCK C LOT 13	0.149	6,503	BLOCK F LOT 58	0.147	6,422
BLOCK C LOT 14	0.175	7,615	BLOCK F LOT 59	0.147	6,422
BLOCK C LOT 15	0.178	7,772	BLOCK F LOT 60	0.147	6,422
BLOCK C LOT 16	0.196	8,543	BLOCK F LOT 61	0.147	6,422
BLOCK C LOT 17	0.163	7,109	BLOCK F LOT 62	0.147	6,422
BLOCK C LOT 18	0.139	6,060	BLOCK F LOT 63	0.147	6,422
BLOCK C LOT 19	0.134	5,846	BLOCK F LOT 64	0.147	6,422
BLOCK C LOT 20	0.153	6,679	BLOCK F LOT 65	0.147	6,422
BLOCK D LOT 1	0.164	7,148	BLOCK F LOT 66	0.146	6,358
BLOCK D LOT 2	0.149	6,485	BLOCK F LOT 67	0.138	5,999
BLOCK D LOT 3	0.157	6,833	BLOCK F LOT 68	0.182	7,936
BLOCK D LOT 4	0.157	6,833	BLOCK F LOT 69	0.138	6,000
BLOCK D LOT 5	0.157	6,833	BLOCK F LOT 70	0.138	6,000
BLOCK D LOT 6	0.157	6,833	ROW	2.676	116,549
BLOCK D LOT 7	0.157	6,833			
BLOCK D LOT 8	0.157	6,833			
BLOCK D LOT 9	0.157	6,833			
BLOCK D LOT 10	0.160	6,950			
BLOCK D LOT 11	0.169	7,369			
BLOCK D LOT 12	0.134	5,830			
BLOCK D LOT 13	0.135	5,891			
BLOCK D LOT 14	0.162	7,041			
BLOCK D LOT 15	0.149	6,482			

SHADOWGLEN PHASE 2  
SECTION 22  
13.719 ACRES  
OUT OF A CALLED 276.88 ACRE PARCEL 2  
CONVEYED TO SG LAND HOLDINGS LLC  
DOC. NO. 2012217281, OPRTC  
WILLIAM SANDERFORD SURVEY NO. 70,  
ABSTRACT NO. 743  
CITY OF MANOR, TRAVIS COUNTY, TEXAS

Kimley»Horn

601 NW Loop 410, Suite 350  
San Antonio, Texas 78216

FIRM # 10193973

Tel. No. (210) 541-9166  
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	MAV	JGM	FEB. 2019	069254501	4 OF 4



**JAY ENGINEERING COMPANY, INC.**

*P.O. Box 1220 (512) 259-3882  
Leander, TX 78646 Fax 259-8016  
Texas Registered Engineering Firm F-4780*

Date: Thursday, May 16, 2019

Allison Kennaugh  
Kimley-Horn and Associates, Inc.  
10814 Jollyville Road, Avallon IV, Suite 300  
Austin TX 78759  
Allison.Kennaugh@kimley-horn.com

Permit Number 2019-P-1188-FP  
Job Address: Shadowglen Section 22 Final Plat, Manor, TX. 78653

Dear Allison Kennaugh,

The first submittal of the Shadowglen Section 22 Final Plat (*Final Plat*) submitted by Kimley-Horn and Associates, Inc. and received on March 19, 2020, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B.

**Engineer Review**

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

1. Per City of Manor Staff discussions with Kimley-Horn representatives, no construction plans or final plats for Shadowglen will be approved until an updated parkland exhibit has been submitted and approved by the City. The exhibit is required to show how the Development Agreement parkland requirements are being met for Shadowglen.
2. The final plat cannot be approved until the construction plans have been approved. Construction plans for the project have not been approved.
3. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance Section 24(c)(1)(xi), where new streets are being created and named, the applicant must have documentation from Travis County 911 Addressing demonstrating that the street names proposed on the Final Plat are not duplicated within the County.
4. Sheet 2 of the final plat has a label for a vacated drainage easement. The document number should be added to the plat.
5. Document numbers should be added to the plat (where applicable).
6. The description and location of all permanent monuments or benchmarks, standard monuments, survey control points and lot pins should be shown on the final plat as required by City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance Section 24(c)(3)(ii).
7. The document number for the vacated temporary drainage easement should be labeled on the plat.
8. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance

Section 24(c)(5)(iii), if the construction of all improvements needed to serve the subdivision is not completed prior to the filing of the plat for recordation then the developer must provide financial assurance for the completion of the remainder of those improvements in accordance with the Subdivision Ordinance.

9. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance Section 24(d)(2)(iv), copies of deed restrictions or covenants should be provided.

10. For projects located within the City's extra-territorial jurisdiction the final plat must be submitted to the County for review and approval. The applicant shall be responsible for any additional information required by the County for Final Plat approval.

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. Please include a comment response narrative indicating how comments have been addressed with your plan resubmittal. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

Additional comments may be generated as requested information is provided. Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.



March 19, 2020

Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.  
P.O. Box 1220  
Leander, Texas 78646-1220

**RE: Permit Number 2019-P-1188-FP**  
**Job Address: Shadowglen Section 22 Final Plat, Manor, TX. 78653**

Dear Pauline Gray, P.E.:

Please accept this **Comment Response Letter** in reply to your review, dated May 16, 2019, of the first submittal of the Shadowglen Section 22 Final Plat submitted on April 23, 2019. Original comments have been included below for reference. Kimley-Horn's responses are in red.

1. Per City of Manor Staff discussions with Kimley-Horn representatives, no construction plans or final plats for Shadowglen will be approved until an updated parkland exhibit has been submitted and approved by the City. The exhibit is required to show how the Development Agreement parkland requirements are being met for Shadowglen.

**Response:** *The Development Agreement and Parkland Exhibit were approved during the March 4<sup>th</sup> City Council meeting.*

2. The final plat cannot be approved until the construction plans have been approved. Construction plans for the project have not been approved.

**Response:** *Noted.*

3. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance Section 24(c)(1)(xi), where new streets are being created and named, the applicant must have documentation from Travis County 911 Addressing demonstrating that the street names proposed on the Final Plat are not duplicated within the County.

**Response:** *Approval from Travis County 911 Addressing is included with this submittal.*

4. Sheet 2 of the final plat has a label for a vacated drainage easement. The document number should be added to the plat.

**Response:** *The document numbers have been added to the plat.*

5. Document numbers should be added to the plat (where applicable).

**Response:** *Noted*

6. The description and location of all permanent monuments or benchmarks, standard monuments, survey control points and lot pins should be shown on the final plat as required by City of Manor

Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance  
Section 24(c)(3)(ii).

**Response:** *All permanent monuments and benchmarks have been shown on the Plat*

7. The document number for the vacated temporary drainage easement should be labeled on the plat.

**Response:** *The document numbers have been added to the plat.*

8. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance Section 24(c)(5)(iii), if the construction of all improvements needed to serve the subdivision is not completed prior to the filing of the plat for recordation then the developer must provide financial assurance for the completion of the remainder of those improvements in accordance with the Subdivision Ordinance.

**Response:** *Noted.*

9. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance Section 24(d)(2)(iv), copies of deed restrictions or covenants should be provided.

**Response:** *A recorded copy of the CC&R has been provided with this submittal.*

10. For projects located within the City's extra-territorial jurisdiction the final plat must be submitted to the County for review and approval. The applicant shall be responsible for any additional information required by the County for Final Plat approval.

**Response:** *Noted.*

Should you have any questions or require additional information, please feel free to contact me directly.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



Allison Kennaugh, P.E.  
(512) 782-0614  
allison.kennaugh@kimley-horn.com



**JAY ENGINEERING COMPANY, INC.**

*P.O. Box 1220 (512) 259-3882  
Leander, TX 78646 Fax 259-8016  
Texas Registered Engineering Firm F-4780*

Date: Tuesday, April 14, 2020

Allison Kennaugh  
Kimley-Horn and Associates, Inc.  
10814 Jollyville Road, Avallon IV, Suite 300  
Austin TX 78759  
Allison.Kennaugh@kimley-horn.com

Permit Number 2019-P-1188-FP  
Job Address: Shadowglen Section 22 Final Plat, Manor 78653

Dear Allison Kennaugh,

We have conducted a review of the final plat for the above-referenced project, submitted by Allison Kennaugh and received by our office on March 19, 2020, for conformance with City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A, Article II, Section 24. The Plat appears to be in general compliance with City Ordinance requirements and we, therefore, take no exception to their approval as presented. Please submit TWO (2) mylar copies of the final plat along with a current tax certificate and a check made out to Travis County for the filing fees to the City of Manor for signatures. One mylar is for City records and the other is for Travis County.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance. Please call if you have any questions or need additional information.

Sincerely,



Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.



## AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 13, 2020

PREPARED BY: Scott Dunlop, Assistant Development Director

DEPARTMENT: Development Services

---

### AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Final Plat for Shadowglen Section 23A. eighty four (84) lots on 21.76 acres, more or less, and being located near Misty Grove Boulevard and Silent Falls Way, Manor, TX.

Applicant: Kimley-Horn & Associates Owner: SG Land Holdings, LLC

---

### BACKGROUND/SUMMARY:

This plat has been approved by our engineer.

PRESENTATION: ☐ YES ☐ NO

ATTACHMENTS: ☐ YES (IF YES, LIST IN ORDER TO BE PRESENTED) ☐ NO

Plat

Engineer Comments

Conformance Letter

---

### STAFF RECOMMENDATION:

It is City staff's recommendation that the Planning and Zoning Commission approve a Final Plat for Shadowglen Section 23A. eighty four (84) lots on 21.76 acres, more or less, and being located near Misty Grove Boulevard and Silent Falls Way, Manor, TX.

PLANNING & ZONING COMMISSION: ☐ RECOMMENDED APPROVAL ☐ DISAPPROVAL ☐ NONE

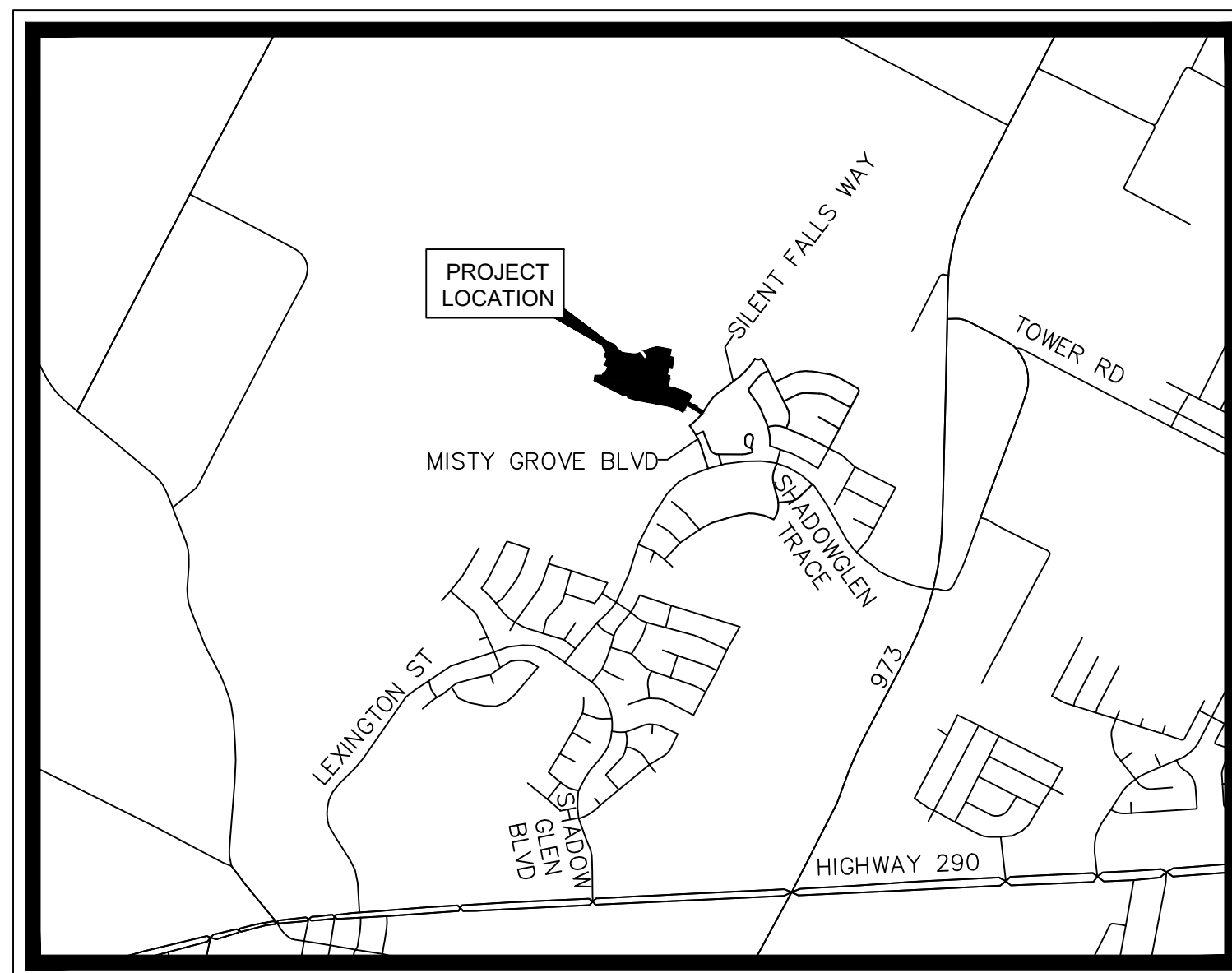
# TRAVIS COUNTY CONSUMER PROTECTION NOTICE FOR HOMEBUYERS

IF YOU ARE BUYING A LOT OR HOME, YOU SHOULD DETERMINE WHETHER IT IS INSIDE OR OUTSIDE THE CITY LIMITS.

DEPENDING ON STATE LAW AND OTHER FACTORS, LAND OUTSIDE THE CITY LIMITS MAY BE SUBJECT TO FEWER LOCAL GOVERNMENT CONTROLS OVER THE DEVELOPMENT AND USE OF LAND THAN INSIDE THE CITY LIMITS.

BECAUSE OF THIS, LOCAL GOVERNMENT MAY NOT BE ABLE TO RESTRICT THE NATURE OR EXTENT OF DEVELOPMENT NEAR THE LOT OR HOME NOR PROHIBIT NEARBY LAND USES THAT ARE INCOMPATIBLE WITH A RESIDENTIAL NEIGHBORHOOD.

THIS CAN AFFECT THE VALUE OF YOUR PROPERTY. TRAVIS COUNTY REQUIRES THIS NOTICE TO BE PLACED ON SUBDIVISION PLATS. IT IS NOT A STATEMENT OR REPRESENTATION OF THE OWNER OF THE PROPERTY, THE SUBDIVIDER, OR THEIR REPRESENTATIVES.



**VICINITY MAP**  
SCALE: 1" = 2,000'

## SHADOWGLEN PHASE 2 SECTION 23A

21.760 ACRES

OUT OF A CALLED 276.88 ACRE PARCEL 2 CONVEYED TO SG  
LAND HOLDINGS LLC  
DOC. NO. 2012217281, OPRTC  
WILLIAM SANDERFORD SURVEY NO. 70, ABSTRACT NO. 743  
CITY OF MANOR, TRAVIS COUNTY, TEXAS

OWNER/DEVELOPER:  
SG LAND HOLDINGS, LLC  
2392 MORSE AVENUE  
IRVINE, CALIFORNIA 93614  
PH: (949) 241-8414  
CONTACT: RUSS ALLISON

SURVEYOR:  
KIMLEY-HORN AND ASSOCIATES, INC.  
LAND SURVEYOR NO. 6330  
601 NW LOOP 410, SUITE 350  
SAN ANTONIO, TEXAS 78216  
PH: (210) 541-9166  
CONTACT: ABEL STENDAHL, R.P.L.S.

CIVIL ENGINEER:  
KIMLEY-HORN AND ASSOCIATES, INC.  
10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 200  
AUSTIN, TEXAS 78759  
TBPE FIRM REGISTRATION NO. F-928  
PH: (512) 418-1771 FAX: (512) 418-1791  
CONTACT: ALLISON KENNAUGH, P.E.

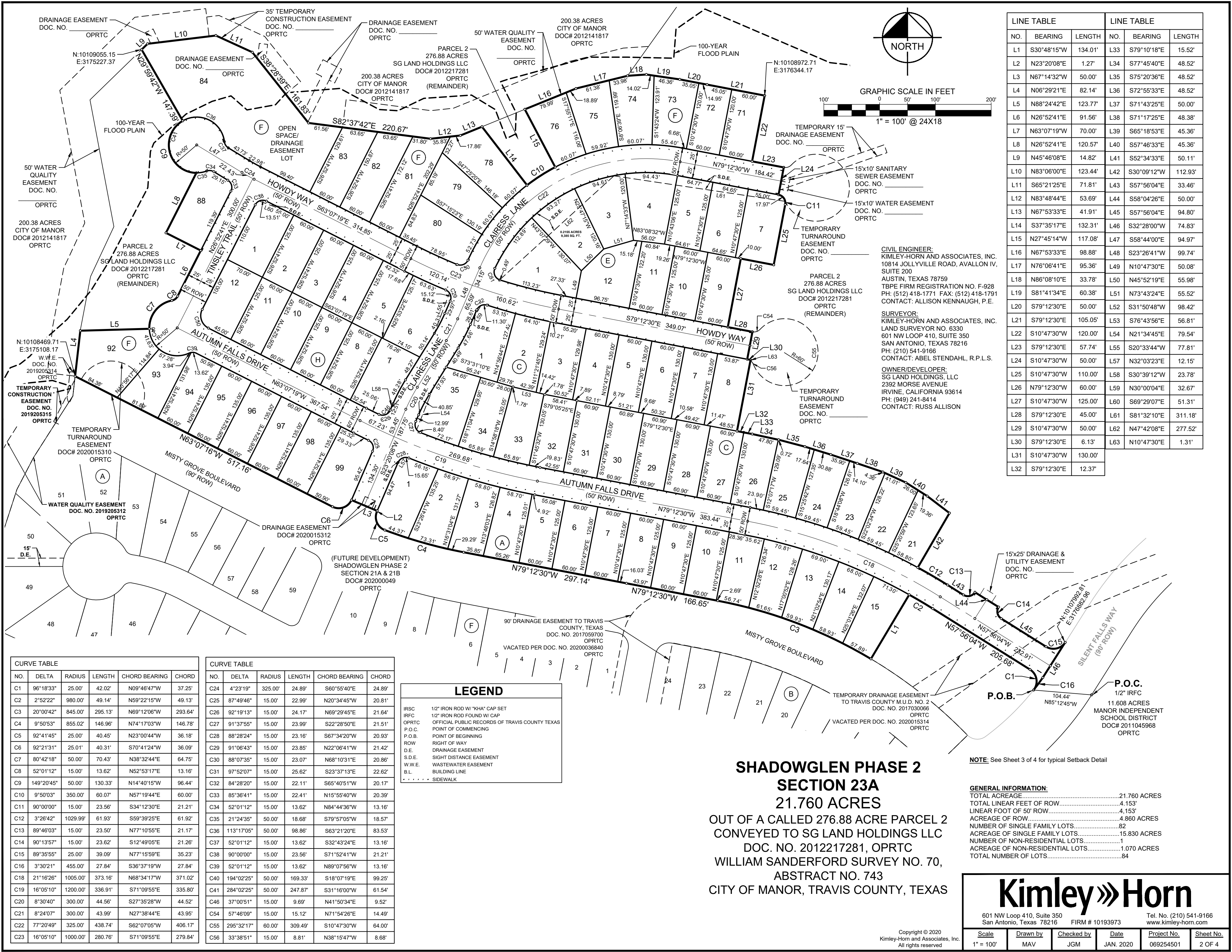
**Kimley»Horn**

601 NW Loop 410, Suite 350  
San Antonio, Texas 78216

FIRM # 10193973

Tel. No. (210) 541-9166  
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 2000'	MAV	JGM	JAN. 2020	069254501	1 OF 4



LINE TABLE			LINE TABLE		
NO.	BEARING	LENGTH	NO.	BEARING	LENGTH
L1	S30°48'15"W	134.01'	L33	S79°10'18"E	15.52'
L2	N23°20'08"E	1.27'	L34	S77°45'40"E	48.52'
L3	N67°14'32"W	50.00'	L35	S75°20'36"E	48.52'
L4	N06°29'21"E	82.14'	L36	S72°55'33"E	48.52'
L5	N88°24'42"E	123.77'	L37	S71°43'25"E	50.00'
L6	N26°52'41"E	91.56'	L38	S71°17'25"E	48.38'
L7	N63°07'19"W	70.00'	L39	S65°18'53"E	45.36'
L8	N26°52'41"E	120.57'	L40	S57°46'33"E	45.36'
L9	N45°46'08"E	14.82'	L41	S52°34'33"E	50.11'
L10	N83°06'00"E	123.44'	L42	S30°09'12"W	112.93'
L11	S65°21'25"E	71.81'	L43	S57°56'04"E	33.46'
L12	N83°48'44"E	53.69'	L44	S58°04'26"E	50.00'
L13	N67°53'33"E	41.91'	L45	S57°56'04"E	94.80'
L14	S37°35'17"E	132.31'	L46	S32°28'00"W	74.83'
L15	N27°45'14"W	117.08'	L47	S58°44'00"E	94.97'
L16	N67°53'33"E	98.88'	L48	S23°26'41"W	99.74'
L17	N76°06'41"E	95.36'	L49	N10°47'30"E	50.08'
L18	N86°08'10"E	33.78'	L50	N45°52'19"E	55.98'
L19	S81°41'34"E	60.38'	L51	N73°43'24"E	55.52'
L20	S79°12'30"E	50.00'	L52	S31°50'48"W	98.42'
L21	S79°12'30"E	105.05'	L53	S76°43'56"E	56.81'
L22	S10°47'30"W	120.00'	L54	N21°34'45"E	79.54'
L23	S79°12'30"E	57.74'	L55	S20°33'44"W	77.81'
L24	S10°47'30"W	50.00'	L56	N32°03'23"E	12.15'
L25	S10°47'30"W	110.00'	L58	S30°39'12"W	23.78'
L26	N79°12'30"W	60.00'	L59	N30°00'04"E	32.67'
L27	S10°47'30"W	125.00'	L60	S69°29'07"E	51.31'
L28	S79°12'30"E	45.00'	L61	S81°32'10"E	311.18'
L29	S10°47'30"W	50.00'	L62	N47°42'08"E	277.52'
L30	S79°12'30"E	6.13'	L63	N10°47'30"E	1.31'
L31	S10°47'30"W	130.00'			
L32	S79°12'30"E	12.37'			

CURVE TABLE				
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING
C1	96°18'33"	25.00'	42.02'	N09°46'47"W
C2	2°52'22"	980.00'	49.14'	N59°22'15"W
C3	20°00'42"	845.00'	295.13'	N69°12'06"W
C4	9°50'53"	855.02'	146.96'	N74°17'03"W
C5	92°41'45"	25.00'	40.45'	N23°00'44"W
C6	92°21'31"	25.01'	40.31'	S70°41'24"W
C7	80°42'18"	50.00'	70.43'	N38°32'44"E
C8	52°01'12"	15.00'	13.62'	N52°53'17"E
C9	149°20'45"	50.00'	130.33'	N14°40'15"W
C10	9°50'03"	350.00'	60.07'	N57°19'44"E
C11	90°00'00"	15.00'	23.56'	S34°12'30"E
C12	3°26'42"	1029.99'	61.93'	S59°39'25"E
C13	89°46'03"	15.00'	23.50'	N77°10'55"E
C14	90°13'57"	15.00'	23.62'	S12°49'05"E
C15	89°35'55"	25.00'	39.09'	N77°15'59"E
C16	3°30'21"	455.00'	27.84'	S36°37'19"W
C18	21°16'26"	1005.00'	373.16'	N68°34'17"W
C19	16°05'10"	1200.00'	336.91'	S71°09'55"E
C20	8°30'40"	300.00'	44.56'	S27°35'28"W
C21	8°24'07"	300.00'	43.99'	N27°38'44"E
C22	77°20'49"	325.00'	438.74'	S62°07'05"W
C23	16°05'10"	1000.00'	280.76'	S71°09'55"E

CURVE TABLE				
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING
C24	4°23'19"	325.00'	24.89'	S60°55'40"E
C25	87°49'46"	15.00'	22.99'	N20°34'45"W
C26	92°19'13"	15.00'	24.17'	N69°29'45"E
C27	91°37'55"	15.00'	23.99'	S22°28'50"E
C28	88°28'24"	15.00'	23.16'	S67°34'20"W
C29	91°06'43"	15.00'	23.85'	N22°06'41"W
C30	88°07'35"	15.00'	23.07'	N68°10'31"E
C31	97°52'07"	15.00'	25.62'	S23°37'13"E
C32	84°28'20"	15.00'	22.11'	S65°40'51"W
C33	85°36'41"	15.00'	22.41'	N15°55'40"W
C34	52°01'12"	15.00'	13.62'	N84°44'36"W
C35	21°24'35"	50.00'	18.68'	S79°57'05"W
C36	113°17'05"	50.00'	98.86'	S63°21'20"E
C37	52°01'12"	15.00'	13.62'	S32°43'24"E
C38	90°00'00"	15.00'	23.56'	S71°52'41"W
C39	52°01'12"	15.00'	13.62'	N89°07'56"W
C40	194°02'25"	50.00'	169.33'	S18°07'19"E
C41	284°02'25"	50.00'	247.87'	S31°16'00"W
C46	37°00'51"	15.00'	9.69'	N41°50'34"E
C54	57°46'09"	15.00'	15.12'	N71°54'26"E
C55	295°32'17"	60.00'	309.49'	S10°47'30"W
C56	33°38'51"	15.00'	8.81'	N38°15'47"W

LEGEND	
IRSC	1/2" IRON ROD W/ "XHA" CAP SET
IRFC	1/2" IRON ROD FOUND W/ CAP
OPRTC	OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY TEXAS
P.O.C.	POINT OF COMMENCING
P.O.B.	POINT OF BEGINNING
ROW	RIGHT OF WAY
D.E.	DRAINAGE EASEMENT
S.D.E.	SIGHT DISTANCE EASEMENT
W.W.E.	WASTEWATER EASEMENT
B.L.	BUILDING LINE
.....	SIDEWALK

**SHADOWGLEN PHASE 2**  
**SECTION 23A**  
**21.760 ACRES**  
OUT OF A CALLED 276.88 ACRE PARCEL 2  
CONVEYED TO SG LAND HOLDINGS LLC  
DOC. NO. 2012217281, OPRTC  
WILLIAM SANDERFORD SURVEY NO. 70,  
ABSTRACT NO. 743  
CITY OF MANOR, TRAVIS COUNTY, TEXAS

GENERAL INFORMATION:				
TOTAL ACREAGE.....	21.760 ACRES			
TOTAL LINEAR FEET OF ROW.....	4,153'			
LINEAR FOOT OF 50' ROW.....	4,153'			
ACREAGE OF ROW.....	4.860 ACRES			
NUMBER OF SINGLE FAMILY LOTS.....	82			
ACREAGE OF SINGLE FAMILY LOTS.....	15.830 ACRES			
NUMBER OF NON-RESIDENTIAL LOTS.....	1			
ACREAGE OF NON-RESIDENTIAL LOTS.....	1.070 ACRES			
TOTAL NUMBER OF LOTS.....	84			

# Kimley»Horn

601 NW Loop 410, Suite 350  
San Antonio, Texas 78216

FIRM # 10193973

Tel. No. (210) 541-9166  
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	MAV	JGM	JAN. 2020	069254501	2 OF 4



The State of California §  
County of Orange §

Know all men by these presents:

Whereas, SG Land Holdings LLC, the owner of a 21.760 acre tract of land in the William Sanderford Survey No. 70, Abstract No. 743, Travis County, Texas, and being a portion of that certain called 267.88 acre tract, conveyed to SG Land Holdings LLC, as recorded under document number 2012217281, Official Public Records of Travis County Texas, and do hereby subdivide said, 21.760 acre having been approved for subdivision, pursuant to Chapter 212 and 232 of the Local Government Code.

Now, therefore, know all men by these presents: that the undersigned owner of the land shown on this plat, and designated herein as Shadowglen Phase 2, Section 23A of the City of Manor, Travis County, Texas, and whose name is subscribed hereto, hereby subdivides said 21.760 acre of land of said in accordance with the attached map or plat to be know as Shadowglen Phase 2, Section 23A and do hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, public easements, and public places thereon shown for the purposed and consideration therein expressed: subject to any easement or restrictions heretofore granted and not released.

Witness my hand this day \_\_\_\_\_, \_\_\_\_.

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Address: 2392 Morse Avenue  
Irvine, California 93614

The State of California §  
County of Orange §

This instrument was acknowledged before me on the \_\_\_\_ day of \_\_\_\_\_, 2020, by \_\_\_\_\_, as \_\_\_\_\_ of \_\_\_\_\_, on behalf of said corporation.

Notary Public  
Notary Registration Number \_\_\_\_\_  
My commission expires: \_\_\_\_\_  
County of Orange  
The State of California

Consent of Lienholder

The undersigned, being the holder of a deed of trust lien dated \_\_\_\_\_ recorded as Document No. \_\_\_\_\_ in the Official Public Records of Travis County, Texas and the deed of trust lien dated \_\_\_\_\_ and recorded as \_\_\_\_\_ in the Official Public Records of Travis County, Texas hereby consents to the foregoing final plat and agrees that its deed of trust lien is subject to and subordinate to the final plat, and that the undersigned has authority to execute and deliver this consent of lienholder, and that all necessary acts necessary to bind the lienholder have been taken.

International Bank of Commerce

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

The State of Texas §  
County of Travis §

This instrument was acknowledged before me on the \_\_\_\_ day of \_\_\_\_\_, 2020, by \_\_\_\_\_, as \_\_\_\_\_ of the International Bank of Commerce, on behalf of said bank.

Notary Public  
Notary Registration Number \_\_\_\_\_  
My commission expires: \_\_\_\_\_  
County of Travis  
The State of Texas

The State of Texas §  
County of Travis §

I, Allison Kennaugh, am authorized under the laws of the State of Texas to practice the profession of engineering, and hereby certify that this plat is feasible from an engineering stand point and complies with the engineering related portion of the City of Manor, Texas Subdivision Ordinance, and is true and correct to the best of my knowledge.

This site is located in the Wilbarger Creek Watershed.

The 100-year flood plain is contained within the drainage lot as shown hereon. A portion of this tract is within the designated flood hazard area as shown on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) #48453C0485J, Travis County, Texas, dated August 18, 2014.

Allison Kennaugh, P.E.  
Registered Professional Engineer No. \_\_\_\_\_  
Kimley-Horn and Associates, Inc.  
10814 Jollyville Road  
Avallon IV, suite 200  
Austin, Texas 78759

The State of Texas §  
County of Bexar §

I, Abel Stendahl, am authorized under the laws of the State of Texas to practice the profession of surveying, and hereby certify that this plat complies with the surveying related portions of the City of Manor, Texas Subdivision Ordinance is true and correct, and was prepared from an actual survey made on the ground under my direction and supervision.

Abel P. Stendahl  
Registered Professional  
Land Surveyor No. 6754  
601 NW Loop 410, Suite 350  
San Antonio, Texas 78216  
Ph. 210-541-9166

Water and Wastewater:

The tract of land shown hereon is within the boundaries of Wilbarger Creek Municipal Utility District (M.U.D.) No. 1 and said M.U.D. has water and wastewater service available upon completion of facilities by the developer.

Date \_\_\_\_\_ M.U.D. Engineer \_\_\_\_\_

The State of Texas §  
County of Travis §

Commissioners Court Resolution

In approving this plat, the Commissioners Court of Travis County, Texas, assumes no obligation to build the streets, roads, and other public thoroughfares shown on this plat or any bridges or culverts in connection therewith. The building of all streets, roads, and other public thoroughfares shown on this plat, and all bridges and culverts necessary to be constructed or placed in such streets, roads, or other public thoroughfares or in connection therewith, is the responsibility of the owner and/or developer of the tract of land covered by this plat in accordance with plans and specifications prescribed by the Commissioners Court of Travis County, Texas.

The owner(s) of the subdivision shall construct the subdivision's street and drainage improvements (the "improvements") to County standards in order for the County to accept the public improvements for maintenance or to release fiscal security posted to secure private improvements. To secure this obligation, the owner(s) must post fiscal security with the County in the amount of the estimated cost of improvements. The owner(s) obligation to construct the improvement to County standards and to post the fiscal security to secure such construction is a continuing obligation binding the owner(s) and their successors and assigns until the public improvements have been accepted for maintenance by the County, or the private improvements have been constructed and are performing to County standards.

The authorization of this plat by the Commissioners Court for filing or the subsequent acceptance for maintenance by Travis County, Texas, of roads and streets in the subdivision does not obligate the County to install street name signs or erect traffic control signs, such as speed limit, stop signs, and yield signs, which is considered to be part of the developer's construction.

General Notes:

- The bearings, distances, areas and coordinates shown hereon are Texas State Coordinate System GRID, Central Zone (FIPS 4203) (NAD'83), as determined by the Global Positioning System (GPS) all distances are on the grid. The unit of linear measurement is U.S. Survey Feet.
- All lot corners are monumented with a 1/2-inch iron rod with a plastic cap stamped "KHA".
- Public sidewalks built to City of Manor standards, are required along all streets within this subdivision, these sidewalks shall be in place prior to the lot being occupied, failure to construct the required sidewalks may result in the withholding of certificates of occupancy. Building permits, or utility connections by the covering body or utility company.
- Driveway and drainage construction standards shall be in accordance with the requirement of the City of Manor and Travis County standards unless otherwise specified and approve by the City of Manor and Travis County.
- No lot in this subdivision shall be occupied until connection is made to the Wilbarger Creek Municipal Utility District No. 1 Water and Wastewater System.
- All streets, drainage improvements, sidewalks, water and wastewater lines, and erosion controls shall be constructed and installed to City of Manor and Travis County standards.
- Erosion controls are required for all construction on individual lots, including detached single family in accordance with Section 1.4.0 of the City of Austin Environmental Criteria Manual.
- All streets in the subdivision shall be constructed to City of Manor Urban Street Standards and Travis County Standards. All streets will be constructed with curb and gutter.
- Prior to construction, except detached single family on any lot in this subdivision, a site development permit must be obtained from the City of Manor.
- The subdivision owner/developer as identified on this plan is responsible for posting fiscal surety for the construction of all sidewalks as shown or listed on the plan, whether installed by the owner/developer or individual homebuilders. It is the responsibility of the owner/developer to ensure all sidewalks are ADA compliant unless a waiver has been granted by the Texas Department of Licensing and Regulation.
- No objects, including but not limited to buildings, fences, landscaping or other structures shall be allowed within any drainage easements or drainage easement lot except as approved by Travis County and the City of Manor.
- A 15' Electrical, Natural Gas, Propane, Cable T.V., Telephone, and Internet Easement is hereby dedicated along and adjacent to all street rights of way.
- Building setbacks shall be in accordance with the design guidelines of 2010 Shadowglen LLC and his/her assigns.
- A Travis County Development Permit is required prior to site development of any lots in the subdivision.
- Lot Setback Requirements: (SEE SETBACK DETAIL)  
Front Yard - 25' for regular lots, 20' for irregular lots  
Side Yard - 5'  
Street Side Yard - 15'  
Rear Yard - 10'
- All open spaces are restricted to non-residential uses, including no buildings, fences, walls, or similar structures, and shall be designed as "Common Area" as defined under the Subdivision Covenants, Conditions and Restrictions as recorded under Document No.2003066593 of the Official Public Records of Travis County, These lots will be "owned and Maintained by the Homeowners Association.
- Property owners and/or his/her assigns shall provide for access to the drainage easements as may be necessary and shall not prohibit access by the City of Manor, Wilbarger Creek Municipal Utility District No. 1 and Travis County, for inspection or maintenance of said easement.
- All drainage easements on private property shall be maintained by the owner or his/her assigns.
- Before beginning construction activities on a subdivision lot, the owner must obtain a Travis County Development Permit and, when applicable, implement a Storm Water Pollution Prevention Plan (SWP3). The SWP3 requires implementation of temporary and permanent best management practices, including erosion and sediment controls, for protection of storm water runoff quality, in accordance with the Travis County code.
- Parkland for 82 residential units has been satisfied with this plat.
- Within a sight distance easement any obstruction of sight line by vegetation, fencing, earthwork, buildings, signs or any other object which is determined to cause a traffic hazard is prohibited and may be removed by order of the Travis County Commissioners Court at the owner's expense. The property owner is to maintain an unobstructed view corridor within the bounds of such easement at all times.
- An activity that may adversely affect a tree of eight inches or more in trunk diameter (measured at four feet height above the ground) in a right-of-way accepted for maintenance by Travis County must comply with all standards and requirements in the Travis County Code.
- The Covenants, Conditions and Restrictions associated with this subdivision are recorded under Document number 2003066593 of the Official Public Records of Travis County, Texas.
- Drainage plans shall be submitted to Travis County for review prior to site development. Rainfall run-off shall be held to the amount of existing at undeveloped status by ponding or other approved methods.
- This plat is subject to the Travis County 2016 Water Quality Rules.

City of Manor Acknowledgments

This subdivision is located within the Extra Territorial Jurisdiction of the City of Manor as of this date. \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

Accepted and authorized for record by the Planning and Zoning Commission of the City of Manor, Texas, on this the date. \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

Approved: \_\_\_\_\_ Attest: \_\_\_\_\_

William Myers, Chairperson \_\_\_\_\_ Lluvia Almaraz, City Secretary \_\_\_\_\_

Accepted and authorized for record by the City Council of the City of Manor, Texas, on this the date. \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

Approved: \_\_\_\_\_ Attest: \_\_\_\_\_

Dr. Larry Wallace Jr., Mayor \_\_\_\_\_ Lluvia Almaraz, City Secretary \_\_\_\_\_

The State of Texas §  
County of Travis §

I, DANA DEBEAUVOIR, CLERK OF TRAVIS COUNTY, TEXAS DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, A.D. AT \_\_\_\_ O'Clock \_\_\_\_M., DULY RECORDED ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, A.D. AT \_\_\_\_ O'Clock \_\_\_\_M., OF SAID COUNTY AND STATE IN DOCUMENT NUMBER \_\_\_\_\_ OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY CLERK, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, A.D.

DANA DEBEAUVOIR, COUNTY CLERK  
TRAVIS COUNTY, TEXAS

DEPUTY

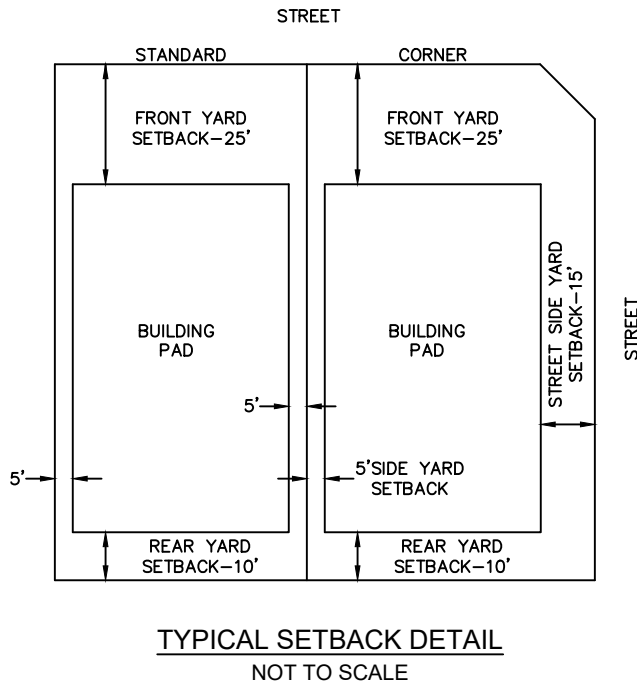
The State of Texas §  
County of Travis §

I, DANA DEBEAUVOIR, CLERK OF THE COUNTY COURT, OF TRAVIS COUNTY, TEXAS, DO HEREBY CERTIFY THAT ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 2020, A.D., THE COMMISSIONERS' COURT OF TRAVIS COUNTY, TEXAS, PASSED AN ORDER AUTHORIZING THE FILING FOR RECORD OF THIS PLAT, AND THAT SAID ORDER WAS DULY ENTERED IN THE MINUTES OF SAID COURT.

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY COURT OF SAID COUNTY, THE \_\_\_\_ DAY OF \_\_\_\_\_, 2020, A.D.

DANA DEBEAUVOIR, COUNTY CLERK, TRAVIS COUNTY, TEXAS

DEPUTY



**SHADOWGLEN PHASE 2  
SECTION 23A  
21.760 ACRES**  
OUT OF A CALLED 276.88 ACRE PARCEL 2  
CONVEYED TO SG LAND HOLDINGS LLC  
DOC. NO. 2012217281, OPRTC  
WILLIAM SANDERFORD SURVEY NO. 70,  
ABSTRACT NO. 743  
CITY OF MANOR, TRAVIS COUNTY, TEXAS

CIVIL ENGINEER:  
KIMLEY-HORN AND ASSOCIATES, INC.  
10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 200  
AUSTIN, TEXAS 78759  
TBPE FIRM REGISTRATION NO. F-928  
PH: (512) 418-1771 FAX: (512) 418-1791  
CONTACT: ALLISON KENNAUGH, P.E.

SURVEYOR:  
KIMLEY-HORN AND ASSOCIATES, INC.  
LAND SURVEYOR NO. 6330  
601 NW LOOP 410, SUITE 350  
SAN ANTONIO, TEXAS 78216  
PH: (210) 541-9166  
CONTACT: ABEL STENDAHL, R.P.L.S.

OWNER/DEVELOPER:  
SG LAND HOLDINGS, LLC  
2392 MORSE AVENUE  
IRVINE, CALIFORNIA 93614  
PH: (949) 241-8414  
CONTACT: RUSS ALLISON

601 NW Loop 410, Suite 350 San Antonio, Texas 78216 FIRM # 10193973 Tel. No. (210) 541-9166 www.kimley-horn.com					
Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	MAV	JGM	JAN. 2020	069254501	3 OF 4

A METES AND BOUNDS  
DESCRIPTION OF A  
21.760 ACRE TRACT OF LAND

**BEING** a 21.760 acre (947,887 square feet) tract of land situated in the William Sandford Survey No. 70, Abstract No. 743, City of Manor, Travis County, Texas; being a portion of that certain 276.88 acre Parcel 2 described in instrument to SG Land Holdings LLC in Document No. 2012217281 of the Official Public Records of Travis County; and being more particularly described as follows:

**COMMENCING** at a 1/2-inch iron rod found on the southeasterly right-of-way line of Silent Falls Way (90 feet wide) also being the point of tangent of a curve and the northwesterly corner of that certain 11.608 acre tract of land described in instrument to Manor Independent School District in Document No. 2011045968 of the Official Public Records of Travis County;

**THENCE**, North 85°12'45" West, 104.44 feet crossing said Silent Falls Way to a 1/2-inch iron rod with a plastic cap stamped "KHA" set on the northwesterly right-of-way line of Silent Falls Way for a point of curvature and the POINT OF BEGINNING of therein described tract;

**THENCE**, departing the northwesterly right-of-way line of said Silent Falls Way and crossing said Parcel 2, the following thirteen (13) courses and distances:

- In a northwesterly direction along a non-tangent curve to the left, a central angle of 96°18'33", a radius of 25.00 feet, a chord bearing and distance of North 9°46'47" West, 37.25 feet, and a total arc length of 42.02 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a corner;
- North 57°56'04" West, 205.68 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
- In a northwesterly direction, along a tangent curve to the left, a central angle of 2°52'22", a radius of 980.00 feet, a chord bearing and distance of North 59°22'15" West, 49.13 feet, and a total arc length of 49.14 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 30°48'15" West, 134.01 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- In a northwesterly direction, along a non-tangent curve to the left, a central angle of 20°00'42", a radius of 845.00 feet, a chord bearing and distance of North 69°12'06" West, 293.64 feet, and a total arc length of 295.13 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- North 79°12'30" West, 166.65 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- North 79°12'30" West, 297.14 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
- In a northwesterly direction, along a tangent curve to the right, a central angle of 9°50'53", a radius of 855.02 feet, a chord bearing and distance of North 74°11'703" West, 146.78 feet, and a total arc length of 146.96 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
- In a northwesterly direction, along a tangent compound curve to the right, a central angle of 92°41'45", a radius of 25.00 feet, a chord bearing and distance of North 23°00'44" West, 36.18 feet, and a total arc length of 40.45 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- North 23°20'08" East, 1.27 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- North 67°14'32" West, 50.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- In a southwesterly direction, along a non-tangent curve to the right, a central angle of 92°2'13"1", a radius of 25.01 feet, a chord bearing and distance of South 70°41'24" West, 36.09 feet, and a total arc length of 40.31 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- North 63°07'16" West, 517.16 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner on the easterly line of that certain 200.38 acre tract of land described in instrument to the City of Manor in Document No. 2012141817 of the Official Public Records of Travis County;

**THENCE**, North 6°29'21" East, 82.14 feet along the easterly lines of said 200.38 acre tract to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;

**THENCE**, departing the easterly line of said 200.38 acre tract and crossing said Parcel 2, the following eight (8) courses and distances:

- North 88°24'42" East, 123.77 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- In a northeasterly direction, along a non-tangent curve to the right, a central angle of 80°42'18", a radius of 50.00 feet, a chord bearing and distance of North 38°32'44" East, 64.75 feet, and a total arc length of 70.43 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
- In a northeasterly direction, along a tangent reverse curve to the left, a central angle of 52°01'12", a radius of 15.00 feet, a chord bearing and distance of North 52°53'17" East, 13.16 feet, and a total arc length of 13.62 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- North 26°52'41" East, 91.56 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- North 63°07'19" West, 70.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- North 26°52'41" East, 120.57 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- In a northwesterly direction, along a non-tangent curve to the right, a central angle of 149°20'45", a radius of 50.00 feet, a chord bearing and distance of North 14°40'15" West, 96.44 feet, and a total arc length of 130.33 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- North 29°59'42" West, 147.39 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner on the southeasterly line of said 200.38 acre tract of land;

**THENCE**, along the southeasterly line of said 200.38 acre tract, the following seven (7) courses and distances:

- North 45°46'08" East, 14.82 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- North 83°06'00" East, 123.44 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 65°21'25" East, 71.81 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 38°28'39" East, 161.83 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 82°37'42" East, 220.67 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- North 83°48'44" East, 53.69 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- North 67°53'33" East, 41.91 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;

**THENCE**, departing the southeasterly line of said 200.38 acre tract and crossing said Parcel 2, the following three (3) courses and distances:

- South 37°35'17" East, 132.31 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- In a northeasterly direction, along a non-tangent curve to the right, a central angle of 9°50'03", a radius of 350.00 feet, a chord bearing and distance of North 57°19'44" East, 60.00 feet, and a total arc length of 60.07 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- North 27°45'14" West, 117.08 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner on the southeasterly line of said 200.38 acre tract of land;

**THENCE**, along the southeasterly line of said 200.38 acre tract, the following two (2) courses and distances:

- North 67°53'33" East, 98.88 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- North 76°06'41" East, 95.36 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for the most easterly -- southeasterly corner of said 200.38 acre tract of land;

**THENCE**, departing the southeasterly line of said 200.38 acre tract and crossing said Parcel 2, the following thirty-three (33) courses and distances:

- North 86°08'10" East, 33.78 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 81°41'34" East, 60.38 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 79°12'30" East, 50.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 79°12'30" East, 105.05 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 10°47'30" West, 120.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 79°12'30" East, 57.74 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 10°47'30" West, 50.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- In a southeasterly direction, along a non-tangent curve to the right, a central angle of 90°00'00", a radius of 15.00 feet, a chord bearing and distance of South 34°12'30" East, 21.21 feet, and a total arc length of 23.56 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 10°47'30" West, 110.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- North 79°12'30" West, 60.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 10°47'30" West, 125.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 79°12'30" East, 45.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 10°47'30" West, 50.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 79°12'30" East, 6.13 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 10°47'30" West, 130.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 79°12'30" East, 12.37 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 79°10'18" East, 15.52 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 77°45'40" East, 48.52 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 75°20'36" East, 48.52 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 72°55'33" East, 48.52 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 71°43'25" East, 50.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 71°17'25" East, 48.38 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 65°18'53" East, 45.36 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 57°46'33" East, 45.36 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 52°34'33" East, 50.11 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 30°09'12" West, 112.93 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- In a southeasterly direction, along a non-tangent curve to the right, a central angle of 3°26'42", a radius of 1029.99 feet, a chord bearing and distance of South 59°39'25" East, 61.92 feet, and a total arc length of 61.93 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 57°56'04" East, 33.46 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
- In a northeasterly direction, along a tangent curve to the left, a central angle of 89°46'03", a radius of 15.00 feet, a chord bearing and distance of North 77°10'55" East, 21.17 feet, and a total arc length of 23.50 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 58°04'20" East, 45.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- In a southeasterly direction, along a non-tangent curve to the left, a central angle of 90°13'57", a radius of 15.00 feet, a chord bearing and distance of South 12°49'05" East, 21.26 feet, and a total arc length of 23.62 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- South 57°56'04" East, 94.80 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvatur;
- In a northeasterly direction, along a tangent curve to the left, a central angle of 89°35'55", a radius of 25.00 feet, a chord bearing and distance of North 77°15'59" East, 35.23 feet, and a total arc length of 39.09 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set on the northwesterly right-of-way line of said Silent Falls Way;

**THENCE**, along the northwesterly right-of-way line of said Silent Falls Way, the following two (2) courses and distances:

- South 32°28'00" West, 74.83 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
- In a southwesterly direction, along a non-tangent curve to the right, a central angle of 3°30'21", a radius of 455.00 feet, a chord bearing and distance of South 36°37'19" West, 27.84 feet, and a total arc length of 27.84 feet to the **POINT OF BEGINNING** and containing 21.760 acres of land in Travis County, Texas, as shown in the document saved in the office of Kimley-Horn and Associates, Inc. in San Antonio, Texas.

City of Manor Subdivision Variances:

- An aerial photograph may be submitted at the preliminary plat stage rather than a tree survey.
- An inventory of significant trees that identifies the number of significant trees by category (trees 18 inches in caliper and larger and trees between 8 and 18 inches in caliper) to remain during construction and the number of significant trees in each category designated shall be submitted with construction plans.
- The number of replacement trees that will be installed, without the identification of the particular location at which the replacement trees shall be installed, shall be submitted with construction plans.
- Significant cottonwood, hackberry or mesquite trees removed shall be replaced at a rate of 50% per caliper inch with an approved hardwood tree. All other significant trees must be replaced at the ratios defined in the City's Subdivision Ordinance.
- All drainage improvements shall be designed in accordance with the City of Austin's Drainage Criteria Manual ("DCM"), as currently amended, save and except: (i) those provisions of the DCM set out in Section 41(b)(i) of the City of Manor Ordinance No. 195; (ii) Paragraph 1.2.6 of the DCM; (iii) Paragraph 2.2.1.A and 2.2.1.E of the DCM; and (iv) any other provisions of the DCM that would cause the flood plain delineation to be different from the 100-year Floodplain established by FEMA. The location of the 100-year Floodplain shall be the location established by FEMA.
- The lot size, height and placement, lot coverage, parking, and landscaping for each lot shall be as set forth in the minimum development standards for lots within the Master Land Plan and outside the corporate boundaries of the City of as set forth in the P.U.D. Variances for lots within the P.U.D. and the corporate boundaries of the City.
- Lots shall not be required to face a similar lot across the street.
- Side lot lines shall not be required to project away from the front lot line at approximately right angles to street lines and radial to curved street lines.
- The area within the City's Territorial Jurisdiction Zoned District " O-S" shall satisfy the City's Parkland Dedication requirements for all land shown within the P.U.D. plan or on the Master Land Plan shall be dedicated to the City or to a Municipal Utility District.
- The area of non-rectangular lots shall be provided with the filing of a final plat.

Applicable P.U.D. Variances from City of Manor Development Standards:

- Single-family residential lots in the property shall have a minimum of 6,000 sq. ft., and ten percent (10%) of the lots in the property to have a minimum of 5,000 sq. ft.
- Single-family residential lots in the property shall have a minimum of 50 feet of width along the front property line, except as otherwise approved by the City of Manor.
- Single-family residential lots in the property shall have a minimum setback from the front of each lot of twenty (20) feet.
- Single-family residential lots in the property shall have a minimum setback from the sides of each lot of five (5) feet.
- Single-family residential lots in the property shall have a minimum setback from the rear of each lot of ten (10) feet.
- The clubhouse and related permitted structures in the space shall have a maximum height of three (3) stories or fifty (50) feet.
- A development plan and report shall be submitted with the filing of each final plat.
- Revoked by Cotton Holding.
- A walkway/bicycle path system shall be submitted with the filing of each final plat.
- A LOMR shall be submitted prior to final platting of any lot located within the present 100-year Floodplain.
- Single-family residential lots have been granted a variance from the minimum lot widths as shown on the preliminary plat.

LOT TABLE		
LOT NO.	ACRES	SQ. FT.
BLOCK A LOT 1	0.216	9,394
BLOCK A LOT 2	0.199	8,669
BLOCK A LOT 3	0.183	7,982
BLOCK A LOT 4	0.179	7,786
BLOCK A LOT 5	0.172	7,500
BLOCK A LOT 6	0.172	7,500
BLOCK A LOT 7	0.172	7,500
BLOCK A LOT 8	0.172	7,500
BLOCK A LOT 9	0.172	7,500
BLOCK A LOT 10	0.172	7,500
BLOCK A LOT 11	0.178	7,745
BLOCK A LOT 12	0.194	8,429
BLOCK A LOT 13	0.191	8,327
BLOCK A LOT 14	0.191	8,319
BLOCK A LOT 15	0.197	8,591
BLOCK C LOT 1	0.229	9,975
BLOCK C LOT 2	0.201	8,749
BLOCK C LOT 3	0.197	8,577
BLOCK C LOT 4	0.179	7,800
BLOCK C LOT 5	0.179	7,800
BLOCK C LOT 6	0.179	7,800
BLOCK C LOT 7	0.179	7,800
BLOCK C LOT 8	0.179	7,800
BLOCK C LOT 21	0.174	7,560
BLOCK C LOT 22	0.184	7,993
BLOCK C LOT 23	0.185	8,039
BLOCK C LOT 24	0.184	8,005
BLOCK C LOT 25	0.186	8,095
BLOCK C LOT 26	0.184	8,010
BLOCK C LOT 27	0.182	7,916
BLOCK C LOT 28	0.182	7,916
BLOCK C LOT 29	0.182	7,916
BLOCK C LOT 30	0.182	7,916
BLOCK C LOT 31	0.182	7,916
BLOCK C LOT 32	0.183	7,970
BLOCK C LOT 33	0.186	8,108
BLOCK C LOT 34	0.186	8,108
BLOCK C LOT 35	0.229	9,965
BLOCK E LOT 1	0.298	12,962
BLOCK E LOT 3	0.209	9,106

LOT TABLE		
LOT NO.	ACRES	SQ. FT.
BLOCK E LOT 4	0.213	9,298
BLOCK E LOT 5	0.186	8,086
BLOCK E LOT 6	0.186	8,081
BLOCK E LOT 7	0.200	8,702
BLOCK E LOT 9	0.172	7,500
BLOCK E LOT 10	0.172	7,500
BLOCK E LOT 11	0.171	7,443
BLOCK E LOT 12	0.219	9,555
BLOCK F LOT 8	0.213	9,267
BLOCK F LOT 71	0.165	7,200
BLOCK F LOT 72	0.165	7,200
BLOCK F LOT 73	0.199	8,689
BLOCK F LOT 74	0.201	8,748
BLOCK F LOT 75	0.190	8,255
BLOCK F LOT 76	0.185	8,077
BLOCK F LOT 78	0.241	10,507
BLOCK F LOT 79	0.226	9,834
BLOCK F LOT 80	0.226	9,850
BLOCK F LOT 81	0.255	11,099
BLOCK F LOT 82	0.222	9,690
BLOCK F LOT 83	0.193	8,415
BLOCK F LOT 84	1.070	46,591
BLOCK F LOT 92	0.294	12,786
BLOCK F LOT 93	0.179	7,785
BLOCK F LOT 94	0.186	8,091
BLOCK F LOT 95	0.186	8,100
BLOCK F LOT 96	0.186	8,100
BLOCK F LOT 97	0.186	8,100
BLOCK F LOT 98	0.186	8,100
BLOCK F LOT 99	0.223	9,709
BLOCK H LOT 1	0.200	8,702
BLOCK H LOT 2	0.172	7,500
BLOCK H LOT 3	0.172	7,500
BLOCK H LOT 4	0.172	7,500
BLOCK H LOT 5	0.175	7,636
BLOCK H LOT 6	0.228	9,940
BLOCK H LOT 7	0.207	9,013
BLOCK H LOT 8	0.172	7,500
BLOCK H LOT 9	0.172	7,500
BLOCK H LOT 10	0.172	7,500

SHADOWGLEN PHASE 2  
SECTION 23A  
21.760 ACRES

OUT OF A CALLED 276.88 ACRE PARCEL 2  
CONVEYED TO SG LAND HOLDINGS LLC  
DOC. NO. 2012217281, OPRTC  
WILLIAM SANDERFORD SURVEY NO. 70,  
ABSTRACT NO. 743  
CITY OF MANOR, TRAVIS COUNTY, TEXAS

Kimley»Horn

601 NW Loop 410, Suite 350  
San Antonio, Texas 78216

FIRM # 10193973

Tel. No. (210) 541-9166  
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	MAV	JGM	JAN. 2020	069254501	4 OF 4

**JAY ENGINEERING COMPANY, INC.**

*P.O. Box 1220 (512) 259-3882  
Leander, TX 78646 Fax 259-8016  
Texas Registered Engineering Firm F-4780*

Date: Friday, August 16, 2019

Allison Kennaugh  
Kimley-Horn and Associates, Inc.  
10814 Jollyville Road, Avallon IV, Suite 300  
Austin TX 78759  
Allison.Kennaugh@kimley-horn.com

Permit Number 2019-P-1190-FP  
Job Address: Shadowglen Section 23A Final Plat, Manor, TX. 78653

Dear Allison Kennaugh,

The first submittal of the Shadowglen Section 23A Final Plat (*Final Plat*) submitted by Kimley-Horn and Associates, Inc. and received on March 19, 2020, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B.

**Engineer Review**

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

1. Per City of Manor Staff discussions with Kimley-Horn representatives, no construction plans or final plats for Shadowglen will be approved until an updated parkland exhibit has been submitted and approved by the City. The exhibit is required to show how the Development Agreement parkland requirements are being met for Shadowglen.
2. The final plat cannot be approved until the construction plans have been approved. Construction plans for the project have not been approved.
3. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance Section 24(c)(1)(xi), where new streets are being created and named, the applicant must have documentation from Travis County 911 Addressing demonstrating that the street names proposed on the Final Plat are not duplicated within the County.
4. Sheet 2 of the final plat has a label for a vacated drainage easement. The document number should be added to the plat.
5. Document numbers should be added to the plat (where applicable).
6. The description and location of all permanent monuments or benchmarks, standard monuments, survey control points and lot pins should be shown on the final plat as required by City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance Section 24(c)(3)(ii).
7. The document number for the vacated temporary drainage easement should be labeled on the plat.
8. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance Section 24(c)

(5)(iii), if the construction of all improvements needed to serve the subdivision is not completed prior to the filing of the plat for recordation then the developer must provide financial assurance for the completion of the remainder of those improvements in accordance with the Subdivision Ordinance.

9. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance Section 24(c)(2)(ii), areas delineating the regulatory one hundred (100) year floodplain should be shown on the final plat. Add labels for the floodplain.

10. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance Section 24(c)(2)(iii), the location, dimensions, names and descriptions of all existing and recorded streets, alleys, reservations, railroads, easements or other public rights-of-way within the subdivision, intersecting or contiguous with its boundaries or forming such boundaries, as determined from current deed and plat records. The existing right-of-way width of any boundary street to the proposed subdivision shall also be shown.

11. For projects located within the City's extra-territorial jurisdiction the final plat must be submitted to the County for review and approval. The applicant shall be responsible for any additional information required by the County for Final Plat approval.

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. Please include a comment response narrative indicating how comments have been addressed with your plan resubmittal. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

Additional comments may be generated as requested information is provided. Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.





March 19, 2020

Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.  
P.O. Box 1220  
Leander, Texas 78646-1220

**RE: Permit Number 2019-P-1190-FP**  
**Job Address: Shadowglen Section 23A Final Plat, Manor, TX. 78653**

Dear Pauline Gray, P.E.:

Please accept this **Comment Response Letter** in reply to your review, dated August 16, 2019, of the first submittal of the Shadowglen Section 23 Final Plat submitted on April 23, 2019. Original comments have been included below for reference. Kimley-Horn's responses are in red.

#### **Engineer Review**

1. Per City of Manor Staff discussions with Kimley-Horn representatives, no construction plans or final plats for Shadowglen will be approved until an updated parkland exhibit has been submitted and approved by the City. The exhibit is required to show how the Development Agreement parkland requirements are being met for Shadowglen.

**Response:** *The Development Agreement and Parkland Exhibit were approved on the March 4<sup>th</sup> City Council Meeting.*

2. The final plat cannot be approved until the construction plans have been approved. Construction plans for the project have not been approved.

**Response:** *Noted*

3. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance Section 24(c) (1)(xi), where new streets are being created and named, the applicant must have documentation from Travis County 911 Addressing demonstrating that the street names proposed on the Final Plat are not duplicated within the County.

**Response:** *Email correspondence with Travis County 911 approval for all streets in Shadowglen Phase 2 has been included with this submittal.*

4. Sheet 2 of the final plat has a label for a vacated drainage easement. The document number should be added to the plat.

**Response:** *The documents will be added as soon as the documents have been recorded.*

5. Document numbers should be added to the plat (where applicable).

**Response:** *The documents will be added as soon as the documents have been recorded.*

6. The description and location of all permanent monuments or benchmarks, standard monuments, survey control points and lot pins should be shown on the final plat as required by City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance Section 24(c)(3)(ii).

**Response:** *All required information has added to the Plat.*

7. The document number for the vacated temporary drainage easement should be labeled on the plat.

**Response:** *The documents will be added as soon as the documents have been recorded.*

8. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance Section 24(c) (5)(iii), if the construction of all improvements needed to serve the subdivision is not completed prior to the filing of the plat for recordation then the developer must provide financial assurance for the completion of the remainder of those improvements in accordance with the Subdivision Ordinance.

**Response:** *Noted.*

9. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance Section 24(c) (2)(ii), areas delineating the regulatory one hundred (100) year floodplain should be shown on the final plat. Add labels for the floodplain.

**Response:** *Floodplain labels have been added.*

10. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance Section 24(c) (2)(iii), the location, dimensions, names and descriptions of all existing and recorded streets, alleys, reservations, railroads, easements or other public rights-of-way within the subdivision, intersecting or contiguous with its boundaries or forming such boundaries, as determined from current deed and plat records. The existing right-of-way width of any boundary street to the proposed subdivision shall also be shown.

**Response:** *ROW widths for the existing adjacent streets have been added to the Plat.*

11. For projects located within the City's extra-territorial jurisdiction the final plat must be submitted to the County for review and approval. The applicant shall be responsible for any additional information required by the County for Final Plat approval.

**Response:** *A Final Plat has been submitted to Travis County for review and approval.*

Should you have any questions or require additional information, please feel free to contact me directly.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



Allison Kennaugh, P.E.  
(512) 782-0614  
allison.kennaugh@kimley-horn.com

**JAY ENGINEERING COMPANY, INC.**

*P.O. Box 1220 (512) 259-3882  
Leander, TX 78646 Fax 259-8016  
Texas Registered Engineering Firm F-4780*

Date: Wednesday, April 15, 2020

Allison Kennaugh  
Kimley-Horn and Associates, Inc.  
10814 Jollyville Road, Avallon IV, Suite 300  
Austin TX 78759  
Allison.Kennaugh@kimley-horn.com

Permit Number 2019-P-1190-FP  
Job Address: Shadowglen Section 23A Final Plat, Manor 78653

Dear Allison Kennaugh,

We have conducted a review of the final plat for the above-referenced project, submitted by Allison Kennaugh and received by our office on March 19, 2020, for conformance with City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A, Article II, Section 24. The Plat appears to be in general compliance with City Ordinance requirements and we, therefore, take no exception to their approval as presented. Please submit TWO (2) mylar copies of the final plat along with a current tax certificate and a check made out to Travis County for the filing fees to the City of Manor for signatures. One mylar is for City records and the other is for Travis County.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance. Please call if you have any questions or need additional information.

Sincerely,



Pauline Gray, P.E.  
Staff Engineer  
Jay Engineering Company, Inc.